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LN 241416

A D D E N D U M

To a Party Structure Award

London Building Acts (Amendment) Act 1939 Part VI

in respect of

No. 40 Pall Mall, London S.W.1.

and

Army & Navy Club, Pall Mall, London, S.W.1.

We hereby certify this to be  
a true copy of the original

*B. Leighton*  
Berwin Leighton,  
Adelaide House,  
London Bridge,  
London, EC4R 9HA.

80-10-29

13.6.79

①

LN 241416

London Building etc (Amendment) Act 1939 Part VI in respect of  
No. 40 Pall Mall, London. C.V.1.

and

Army & Navy Club, Pall Mall, London. C.V.1.

Now this Addendum Witnesseth and is to be described as paragraph XI of the said  
Award.

- vi) a) At Fifth Floor flat roof level the Building Owners shall form an opening in the South West flank wall of the Army and Navy Club, as indicated on drawing No. 155/20B, provided with R.C. boot lintol, timber door frame, external grade half hour fire check flush panel door and glass encased panic bolt as the only form of opening mechanism.
- b) The said door shall be fitted with an electrically controlled contact through a transformer and bell, plus indicator light, terminating in Porter's Lodge at Ground Floor level so as to complete the circuit when the door is in the open position as an audible measure.
- c) Alter and adapt landing on the staircase adjacent to the proposed opening as may be required, constructed in timber and fixed to existing structure.
- d) The whole of the Works to be carried out at the sole cost of the Building Owners.
- e) The additional fee in respect of this Addendum for the services of the Adjoining Owners' Surveyor shall be £150.00

Signed by Surveyor for

Building Owner

*David A. Lyons AFS MRSH.*

Signed by Surveyor for

Adjoining Owner

*[Handwritten signature]*

Dated 13<sup>th</sup> June 1979

① LN 241416

RL  
LN 24/4/16

RECEIVED  
23 FEB 1973  
RECEIVED

PARTY STRUCTURES AWARD

Between

40/41 PALL MALL , S.W.1

and

ARMY AND NAVY CLUB , PALL MALL , S.W.1

We hereby certify this to be  
a true copy of the original

*Barwin Leighton*

Barwin Leighton,  
Apside House,  
London Bridge,  
London, EC4R 9HA.

30-10-79

PARTY STRUCTURES AWARD

the Matter of the

London Building Acts (Amendment) Act 1939 Part VI in  
respect of No. 40 Pall Mall, London, S.W.1

and

Army and Navy Club, Pall Mall, S.W.1

Whereas: Messrs. Barking Industrial Properties Ltd. (hereinafter called the Building Owners) are the Freeholders of the premises known as No. 40 Pall Mall, London, S.W.1 and

Whereas: Army and Navy Club (hereinafter called the Adjoining Owners) are the Freeholders of the premises known as Army and Navy Club, Pall Mall, London, S.W.1 and

Whereas: The Building Owners have served upon the Adjoining Owners Notice in writing on 17th June 1977, under Part VI Section 45 sub-section b of the aforesaid Act, of their intention to execute certain Works to the Party Wall between the two properties in connection with extensions to No. 40 Pall Mall, S.W.1 by the Building Owners on this site.

Whereas: A difference was deemed to have arisen between the Building Owners and the Adjoining Owners, and the Building Owners have appointed David A. Lyons, AFS, MRSH, of 1 Bellhouse Cottages, Freemans Lane, Hayes, Middx., UB3 2NL as their Surveyor and the Adjoining Owners have appointed Messrs. Derek Sharp Partnership of 18 Compton Terrace, London, N.1 as their Surveyor.

Whereas: The said two Surveyors have agreed that the President for the time being, of the Royal Institute of Chartered Surveyors shall elect a Third Surveyor to act in accordance with the said Act, in the event of a dispute.

this Award Hineseth:

- i) That the drawing Nos.155/7G, 8H, 9G, 10G, 11E, 1JC, 14B and 15B prepared by David A. Lyons, AFS, MRSH, of 1 Bellhouse Cottages, Freemans Lane, Hayes, Middx., UB3 2NL and dated February, September and October 1977 and 133/1, 2 and 5 prepared by R.W. Smeeton, C. Eng., M.I. Struct. E., of 32 Sidwell Avenue, South Benfleet, Essex and dated August, September and October 1977 shall form part of this Award and copies are attached hereto and are hereafter called "the Drawings".
- ii) That the Building Owners shall raise up the old Party Wall to form Fifth Floor extension to main building and raise up the old Party Walls to the rear additions including 'Flexel' movement joint between the new brickwork and the Adjoining Owners extension and lead flashings to existing coping stones to parapet wall abutting new extensions, all as shown on the Drawings.
- iii) That the Building Owners shall carefully cut into old Party Wall and cast concrete padstones to receive steelwork all as shown on the Drawings.
- iv) That the Building Owners shall extend the existing fresh air intake duct on the Adjoining Owners flat roof in such a manner that it will not affect the existing fresh air ventilation system. This work will be executed to Messrs. Young Austin Young and Adjoining Owners Surveyor's approval.
- v) That the Building Owners shall raise up existing 100mm cast iron vent pipe in 100mm plastic terminating above parapet of new rear addition extension with domical grille all as shown on the Drawings.

- vi) that the Building Owners will execute the whole of the Works from their own side of the junction line between the two properties where it is necessary to gain access to flat roof, to raise up fresh air duct and clean off roof, will be made only with the Adjoining Owners Knowledge and previously given consent. The Building Owners will at all times take all reasonable precautions to safeguard the property of the Adjoining Owners.
- vii) The whole of the Works to be carried out at the sole cost of the Building Owners.
- viii) The Works to be executed in such a manner as to cause as little inconvenience as possible to the Adjoining Owners or to his occupants or property, and due to the residential nature of the Club, noisy work will not be carried out after 8.00 pm. The Building Owners shall promptly and efficiently repair and make good any damage occasioned by the Works to the Adjoining Owners property so that nothing disturbed shall be in a worse condition than it is now.
- ix) The Building Owners will indemnify the Adjoining Owners against all Claims arising out of damage or injury to persons or property as a result of the Works herein described.
- x) The Building Owners shall pay the charges of the Surveyors acting for the Adjoining Owners, amounting to £ 430.00 plus V.A.T. in respect of his services in connection with

continued.....

x) continued

this Award, such charges to include for one future visit the Site during progress of the Works and a final inspect upon completion.

Signed by Surveyor for

BUILDING OWNER ..... *David. A. Lyons AFS. MRSH.* .....

Signed by Surveyor for

ADJOINING OWNER ..... *[Signature]* .....

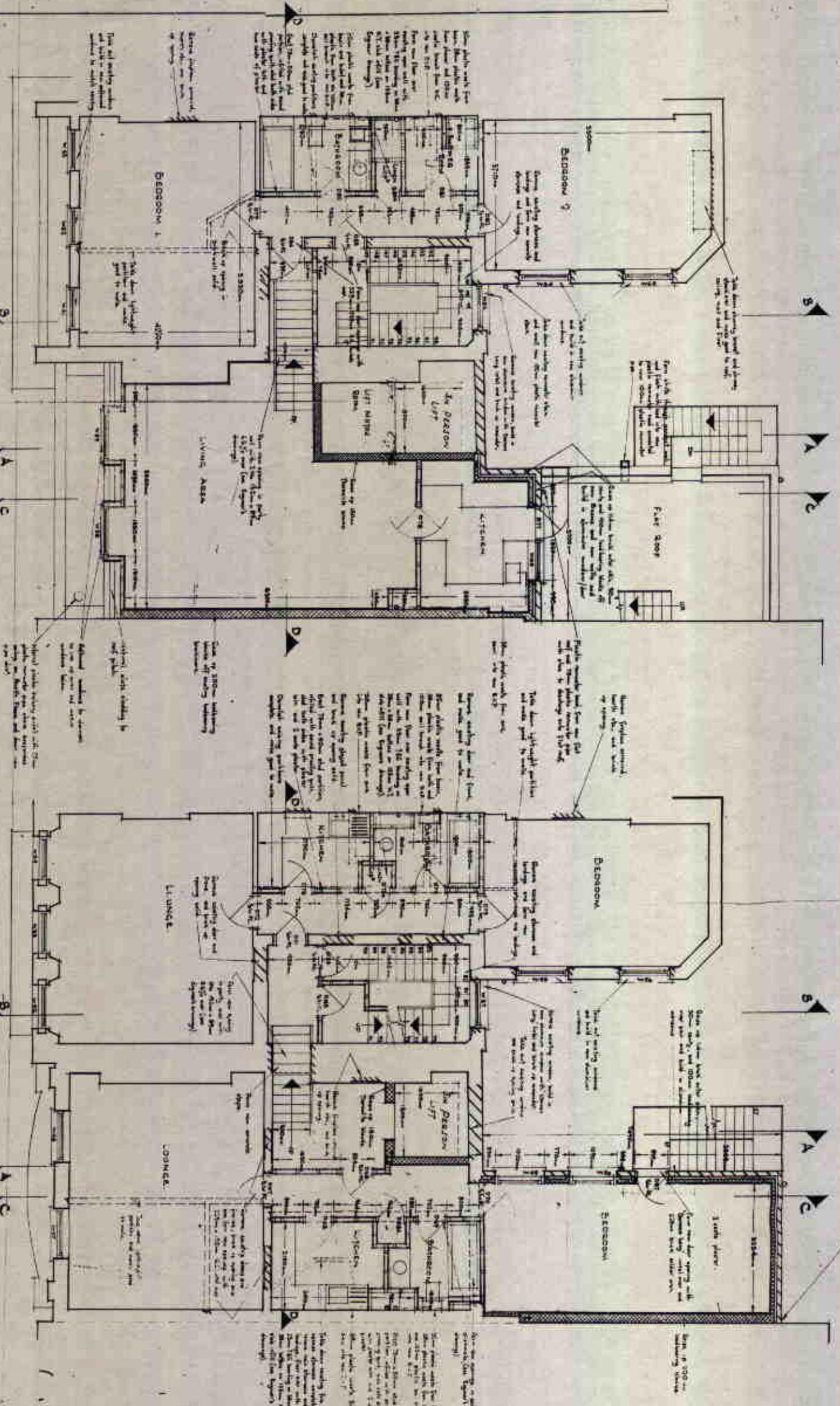
Dated..... *21st. February* ..... 1978



LN 241416

FIFTH FLOOR PLAN

FOURTH FLOOR PLAN



Examine first before  
proceeding with  
proposed alterations

- PLAN NOTES:**
1. COPYRIGHT not to be reproduced without permission.
  2. Drawing not to be used for other than all 'As Shown'.
  3. Structural alterations from other than original design are at the discretion of the architect.
  4. All work shall be done in accordance with the Building Regulations and the Building Act 1984.
  5. The architect is not responsible for the design of any furniture or fittings.
  6. The architect is not responsible for the design of any electrical or plumbing work.
  7. The architect is not responsible for the design of any mechanical or ventilation work.
  8. The architect is not responsible for the design of any fire or escape routes.
  9. The architect is not responsible for the design of any lifts or escalators.
  10. The architect is not responsible for the design of any lifts or escalators.

**Reddish**  
H.M. LAND REGISTRY  
TITLE No. 141/200/15  
PHOTOGRAPHIC COPY  
OF PLAN IN SHEET  
No. 155/76



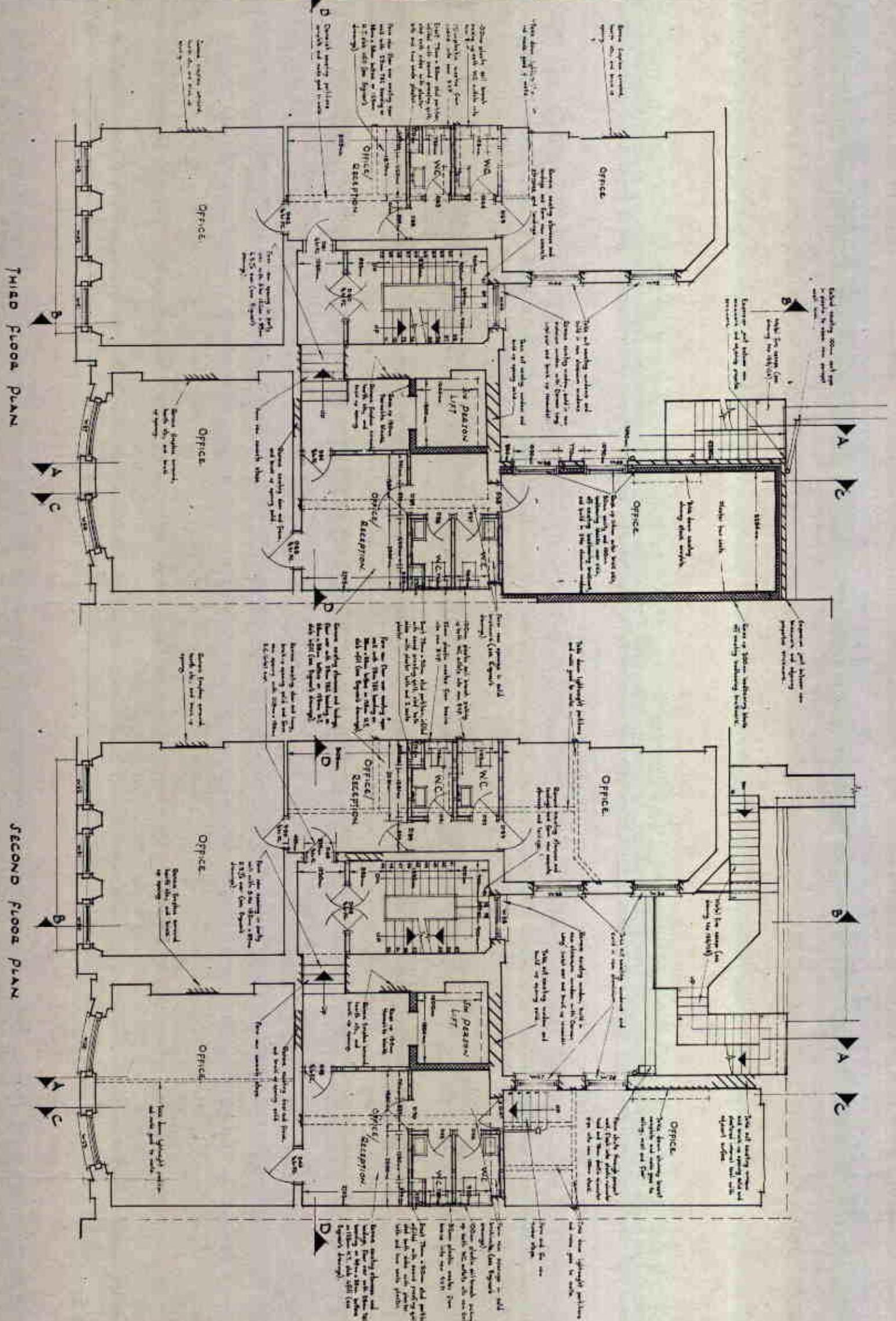
**PROPOSED EXTENSIONS  
AND ALTERATIONS**  
5th & 4th Floor Plans  
40/41 Pall Mall,  
LONDON, S.W.1.

Prepared by  
David A Lyons AFS, MESH  
Building Surveyor,  
1 Bellhouse Cottages, Putney Lane,  
Hagley, Middle, UB8 3WJ.  
Telephone: 01-581-0088

Drawn by  
D.A. Lyons  
Date  
February 1977

155/76

KN24141C



THIRD FLOOR PLAN

SECOND FLOOR PLAN

**PLAN NOTES**

1. CONTRACTOR to be responsible without exception for the execution of the work.
2. To be done in accordance with the following notes.
3. To be done in accordance with the following notes.
4. Mechanical installation from above with double doors to be fitted with a minimum of 200mm clearances to the structure of the building.
5. Working drawings for the work to be executed to be submitted to the Director of Works for approval.
6. The drawings to be submitted in triplicate with the following to be submitted with the drawings:
  - a. A set of drawings for the work to be executed.
  - b. A set of drawings for the work to be executed.
  - c. A set of drawings for the work to be executed.

**Ridgway**  
 H.M. LAND REGISTRY  
 TITLE No. 141 24141C  
 PHOTOGRAPHIC COPY  
 OF PLAN No. 3-9-58  
 Made at 2.1.1978



**PROPOSED EXTENSIONS AND ALTERATIONS**  
 3rd & 2nd Floor Plan.

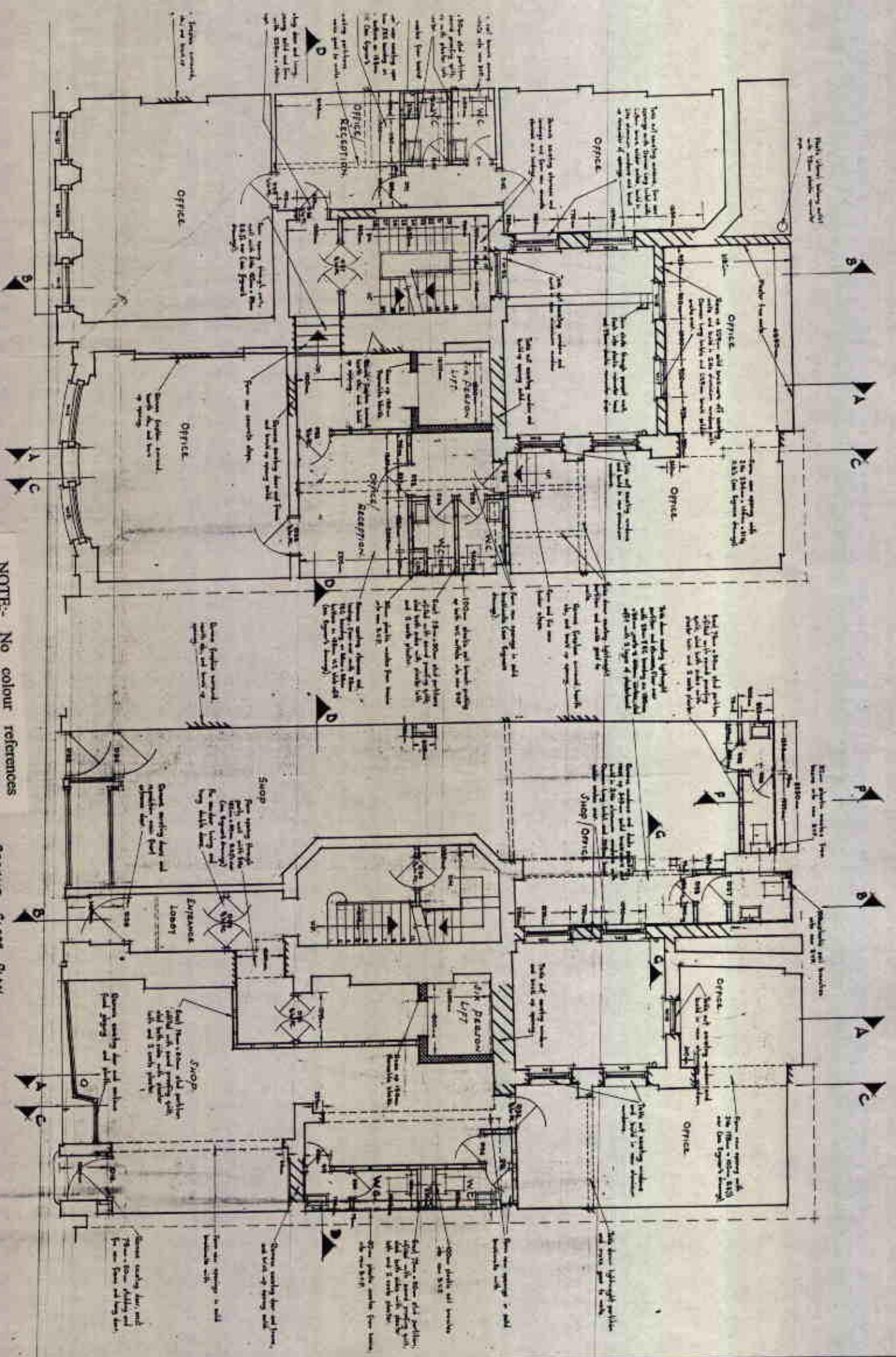
40/41 PALE MALL,  
 LONDON, SW1

Prepared by  
 David A Lyons AFS, MESH  
 Building Surveyor,  
 1 Bellhouse Cottages, Frenham Lane,  
 Hayes, Middx UB8 2NL  
 Telephone: 01-581-6050

Drawn by  
 D. A. Lyons  
 Revised by  
 15/5/64  
 1/50

NOTE:- No colour references  
 appeared on the filed copy of this  
 plan.

LN 241416



NOTE: No colour references appeared on the filed copy of this plan.

First Floor Plan.

Ground Floor Plan.

- PLAN NOTES**
1. CONSIDER not to be regarded as a preliminary and to be void.
  2. No part of this plan shall be used for any purpose other than that for which it was prepared.
  3. No part of this plan shall be used for any purpose other than that for which it was prepared.
  4. No part of this plan shall be used for any purpose other than that for which it was prepared.
  5. No part of this plan shall be used for any purpose other than that for which it was prepared.
  6. No part of this plan shall be used for any purpose other than that for which it was prepared.
  7. No part of this plan shall be used for any purpose other than that for which it was prepared.
  8. No part of this plan shall be used for any purpose other than that for which it was prepared.
  9. No part of this plan shall be used for any purpose other than that for which it was prepared.

NOTE: This Deed/Plan was of poor quality prior to imaging.

**Patented**  
 H.M. LAND REGISTRY  
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 REGISTRY IN 2012  
 21. 2. 1977



**PROPOSED EXTENSION AND ALTERATIONS 1st & Gnd Floor Plans**

40/41 PAUL MALL,  
 LONDON, S.W.1.

Prepared by  
 David A Lysons AFS, MInst  
 Building Surveyors,  
 1 Bellhouse Cottages, Putney, S.W.15  
 Haysley, Middlesex, U.S.S. 2nd.  
 Telephone: 01-501-0086

Drawn by  
 D. A. Lysons

Revised 1977

Scale: 1/50

155/0

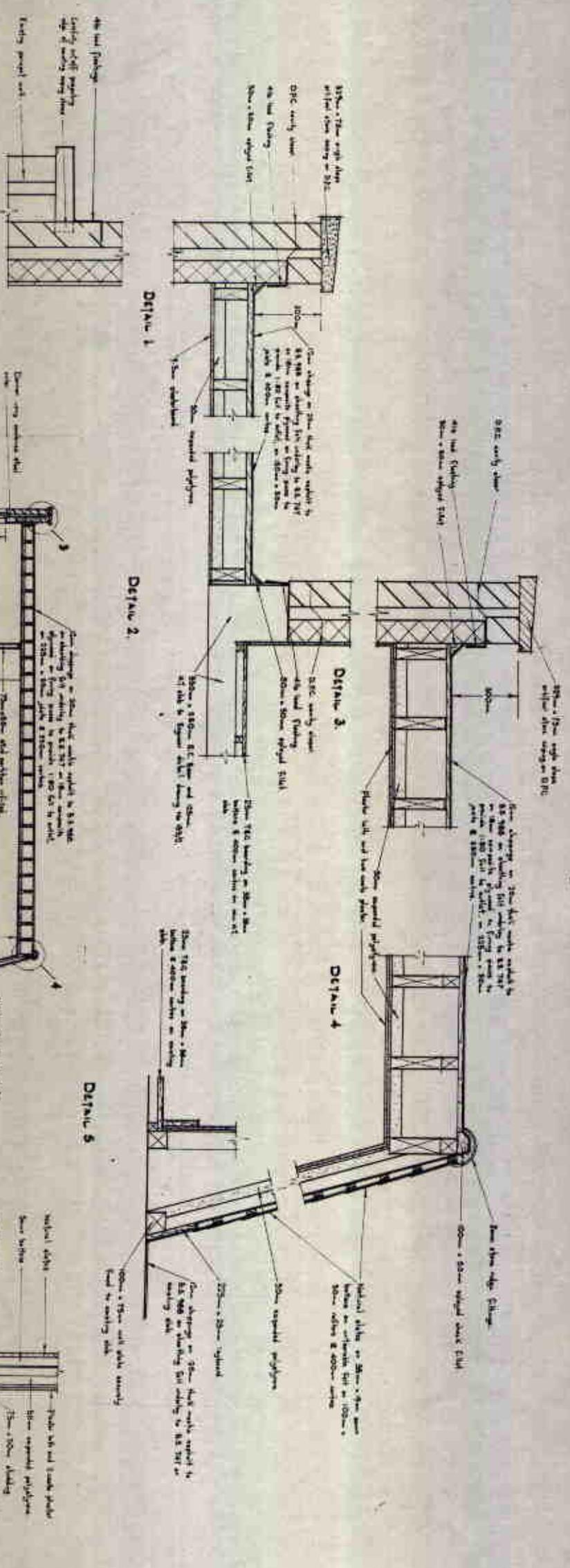


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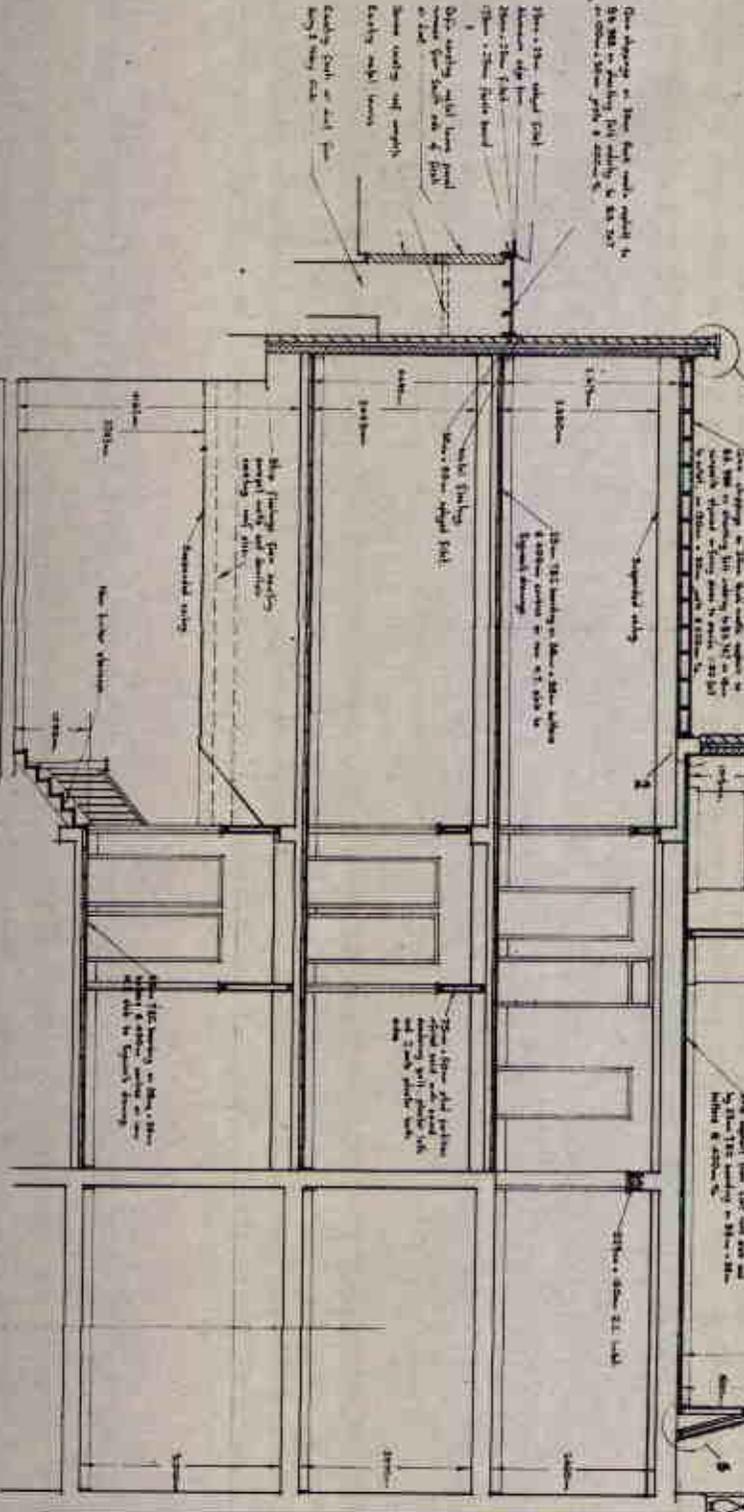
PLAN NOTES

- 1. CORRECTIONS not to be returned without previous approval.
- 2. Drawing not to be used for any other purpose than that for which it was prepared.
- 3. For S.C. Plans and A.T. etc. see Building Regulations 1957 and 1962.

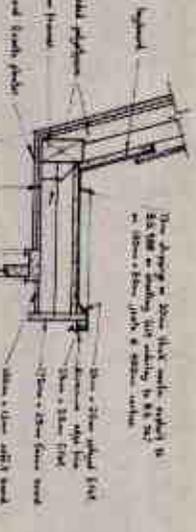
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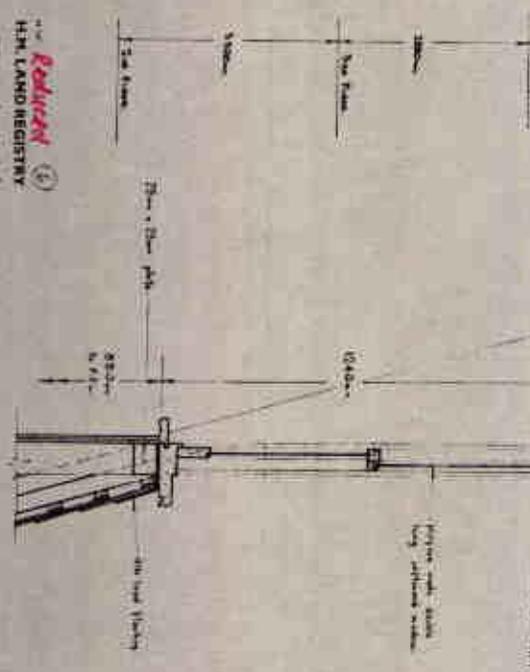
TYPICAL DETAILS AT JUNCTION OF PARAPET STRIPS AND NEW BUILDINGS



DETAILS OF DOOR CASE



PART OF SECTION C-C



NOTE:- No colour references appeared on the filed copy of this plan.

Reduction  
H.M. LAND REGISTRY  
TITLE No. 442 201/4/6  
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H.M. LAND REGISTRY  
21. 2. 1978

SECTION THROUGH DOORCASE

PROPOSED EXTENSIONS AND ALTERATIONS  
PART OF SECTION C-C & DETAILS

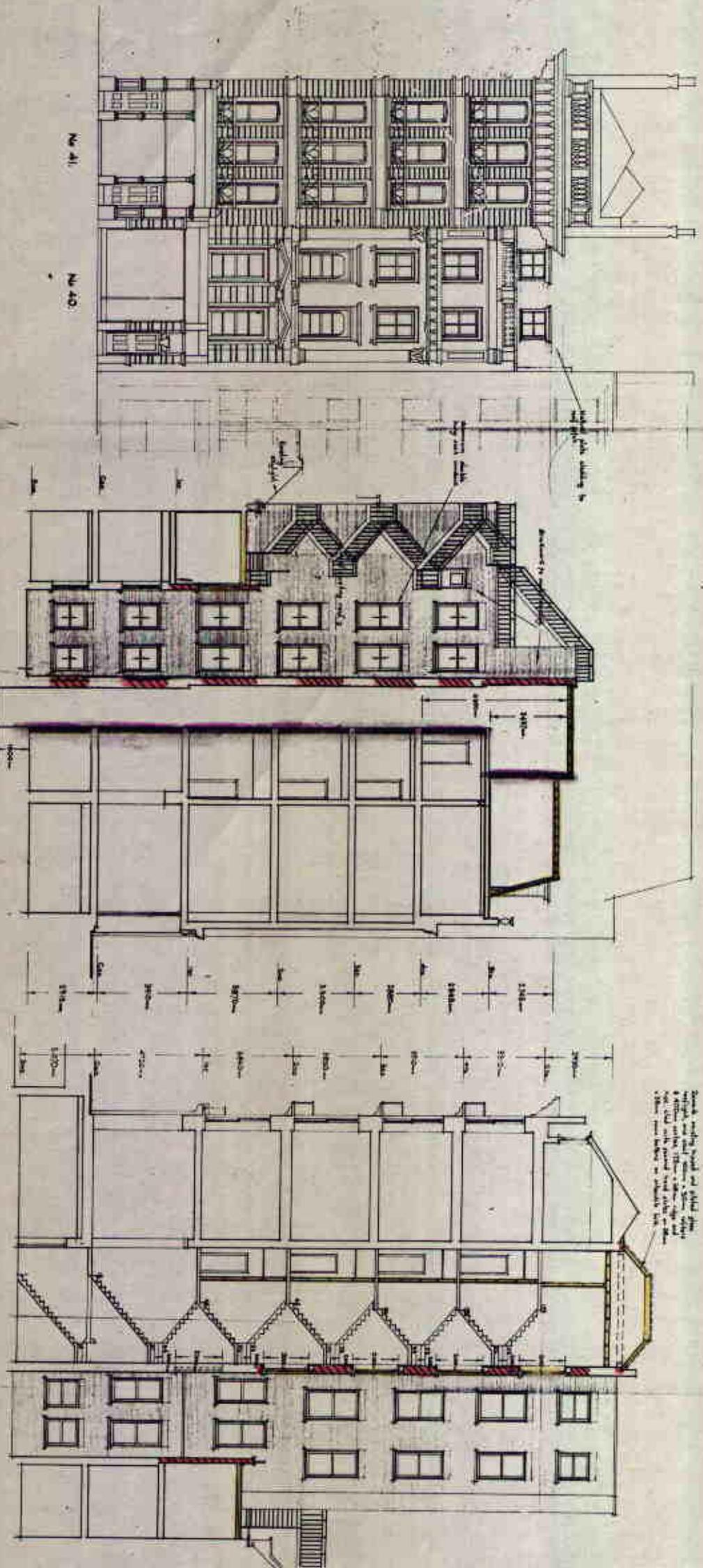
40/41 PALL MALL,  
LONDON, S.W.1

David A Lyons A.P.S., N.A.S.H.,  
Building Surveyor,  
1 Bullhouse Cottage, Fremont Lane,  
Hagley, Middlesbrough, Cleveland,  
Telephone: 01-581-6050

D. A. Lyons  
September 1977  
155/31

LN 241416

- PLAN NOTES:**
1. Copy/submit out to be reproduced without permission.
  2. Drawing not to be used.
  3. The holder of the design is deemed to be the author for the purpose of the Copyright Act 1956 and 1988.
  4. Copyright design No. 155/11/E.



Façade Elevation

Section A-A

Section B-B

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 H.M. LAND REGISTRY  
 TITLE No. E11 211  
 PHOTO-DUPLICATION COPY  
 of PLAN No. 155/11/E  
 Made on 27.9.88

**PROPOSED EXTENSIONS AND ALTERATIONS**  
 Façade Elevation & Sections A-A, B-B.

**40/41 DALL MALL,**  
**LONDON, S.W.1**

Designed by  
 David A Lyons AFS, ARCSA  
 Building Surveyor,  
 1 Bullhouse Cottages, Fremont Lane,  
 Hayes, Middlesex UB8 2NL  
 Telephone 01-561-6056

Drawn by  
 D. A. Lyons

Date  
 February 1977

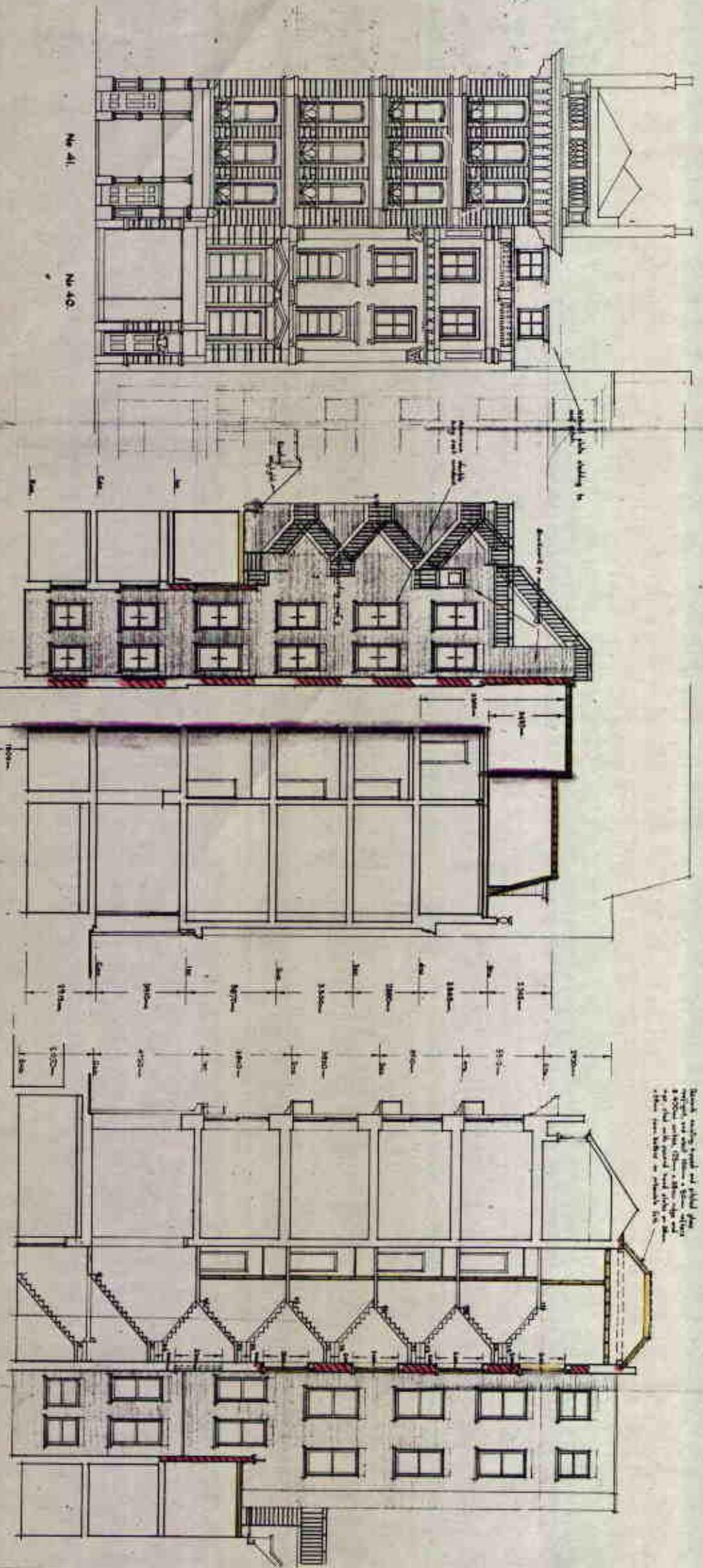
Scale  
 1:100

155/11/E.



LN 24/416

**PLAN NOTES:**  
 1. COPYRIGHT not to be reproduced without permission.  
 2. Drawings not to be scaled.  
 3. In the event of any dispute as to the accuracy of the drawings or specifications, the drawings shall prevail over the specifications.  
 4. Engineer's drawing No. 155/11/E.



FRONT ELEVATION.

Section 'A-A'

Section 'B-B'

**Redacted**  
 TITLE No. LVE 24/416  
 PHOTOGRAPHIC COPY  
 OF PLAN IN CHECK  
 dated 27.12.1977  
 H.M. LAND REGISTRY

**PROPOSED EXTENSIONS AND ALTERATIONS.**  
 Front Elevation & Sections A-A, B-B.

**Contract:**  
 40/41 PALL MALL,  
 LONDON, SW1

Prepared by  
 David A Lyers AFS, MRCSM  
 Building Surveyor,  
 1 Bullhouse Cottages, Fremont Lane,  
 Hayes, Middx. UB5 2NL.  
 Telephone: 01-561-6056

Drawn by  
 D. A. Lyers  
 Date February 1977

Scale 1/100

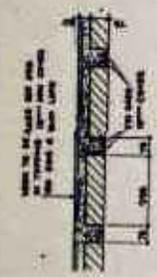
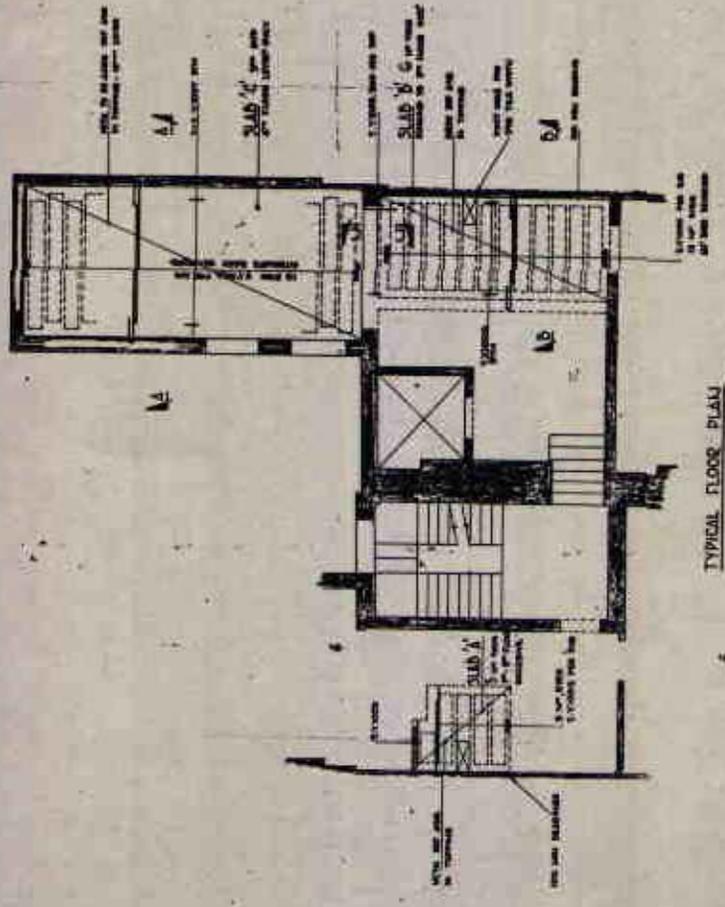
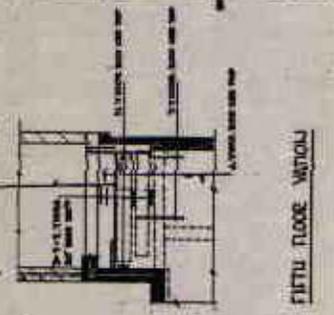
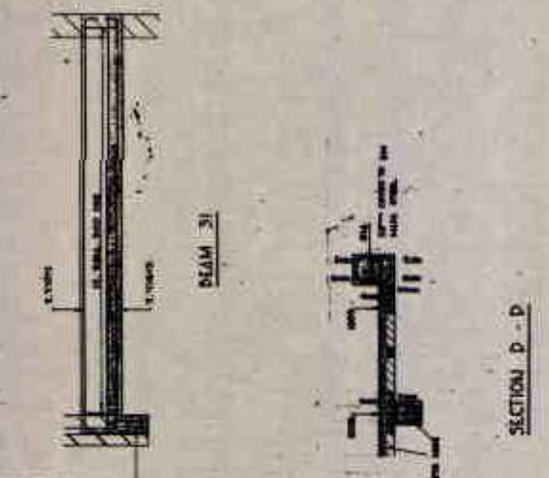
155/11/E.





LN 241416

<p><b>NOTES</b></p> <p>1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS.</p> <p>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.</p> <p>3. ALL MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND TESTING.</p> <p>4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL SERVICES AND UTILITIES AT ALL TIMES.</p> <p>5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND UTILITIES.</p> <p>7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE S.P. AND IS: STANDARDS.</p> <p>8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.</p> <p>9. ALL MATERIALS TO BE STORED PROPERLY AND PROTECTED FROM WEATHER AND DAMAGE.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL WASTE MATERIALS.</p> <p>11. ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE ARCHITECT AND ENGINEER.</p> <p>12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND UTILITIES.</p> <p>13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE S.P. AND IS: STANDARDS.</p> <p>14. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.</p> <p>15. ALL MATERIALS TO BE STORED PROPERLY AND PROTECTED FROM WEATHER AND DAMAGE.</p> <p>16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL WASTE MATERIALS.</p> <p>17. ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE ARCHITECT AND ENGINEER.</p> <p>18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND UTILITIES.</p> <p>19. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE S.P. AND IS: STANDARDS.</p> <p>20. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.</p>	<p>40-41, PALL MALL</p>	<p>EC DETAILS OF SLABS AND LIFE PIT</p>	<p>R.M. Srinivasan Chartered Engineer &amp; Architect      32, St. Andrew's Road,      South Beach, Chennai      Tamil Nadu, India</p>	<p>Drawn: A. Lyons, A.S. MESHU      Checked: S. Srinivasan, A.S. MESHU      Project: 40-41, Pall Mall      Date: 15/5/2017</p>	<p>Scale: As per drawing</p>
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NOTE:- No colour references appeared on the filed copy of this plan.

Redwood  
 H.P. LAND SURVEY  
 1015, No. 1, 2nd St.,  
 CHENNAI - 600 016  
 TAMIL NADU, INDIA  
 Ph: 044-2610-1111  
 Fax: 044-2610-1112

