

These are the notes referred to on the following official copy

Title Number LN241416

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LN 241416

A D D E N D U M

To a Party Structure Award

London Building Acts (Amendment) Act 1939 Part VI

in respect of

No. 40 Pall Mall, London S.W.1.

and

Army & Navy Club, Pall Mall, London, S.W.1.

We hereby certify this to be
a true copy of the original

Berwin Leighton
Berwin Leighton,
Adelaide House,
London Bridge,
London, EC4R 9HA.

80-10-79

13-6-79

①

LN 241416

to a Party Structure Ward dated

1978

London Building etc (Amendment) Act 1939 Part VI in respect of
No. 40 Pall Mall, London. C.V.I.

and

Army & Navy Club, Pall Mall, London. C.V.I.

Now this Addendum Witnesseth and is to be described as paragraph XI of the said
Ward.

- vi) a) At Fifth Floor flat roof level the Building Owners shall form an opening in the South West flank wall of the Army and Navy Club, as indicated on drawing No. 155/20B, provided with R.C. boot lintol, timber door frame, external grade half hour fire check flush panel door and glass encased panic bolt as the only form of opening mechanism.
- b) The said door shall be fitted with an electrically controlled contact through a transformer and bell, plus indicator light, terminating in Porter's Lodge at Ground Floor level so as to complete the circuit when the door is in the open position as an audible measure.
- c) Alter and adapt landing on the staircase adjacent to the proposed opening as may be required, constructed in timber and fixed to existing structure.
- d) The whole of the Works to be carried out at the sole cost of the Building Owners.
- e) The additional fee in respect of this Addendum for the services of the Adjoining Owners' Surveyor shall be £150.00

Signed by Surveyor for

Building Owner

David A. Lyons AFS MRSH.

Signed by Surveyor for

Adjoining Owner

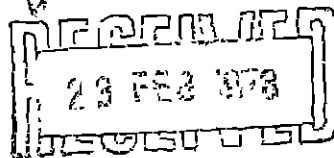
[Signature]

Dated 13th June 1979

②

LN 241416

RR
LN 24/4/6



PARTY STRUCTURES AWARD

Between

40/41 PALL MALL, S.W.1

and

ARMY AND NAVY CLUB, PALL MALL, S.W.1

We hereby certify this to be
a true copy of the original

Be Long

Barwin Leighton,
Aulsebrook House,
London Bridge,
London, EC4R 9HA.

30-10-79

the Matter of the

London Building Acts (Amendment) Act 1939 Part VI in
respect of No. 40 Pall Mall, London, S.W.1

and

Army and Navy Club, Pall Mall, S.W.1

Whereas:

Messrs. Barking Industrial Properties Ltd. (hereinafter called the Building Owners) are the Freeholders of the premises known as No. 40 Pall Mall, London, S.W.1 and

Whereas:

Army and Navy Club (hereinafter called the Adjoining Owners) are the Freeholders of the premises known as Army and Navy Club, Pall Mall, London, S.W.1 and

Whereas:

The Building Owners have served upon the Adjoining Owners Notice in writing on 17th June 1977, under Part VI Section 45 sub-section b of the aforesaid Act, of their intention to execute certain Works to the Party Wall between the two properties in connection with extensions to No. 40 Pall Mall, S.W.1 by the Building Owners on this site.

Whereas:

A difference was deemed to have arisen between the Building Owners and the Adjoining Owners, and the Building Owners have appointed David A. Lyons, AFS, MRSH, of 1 Bellhouse Cottages, Freemans Lane, Hayes, Middx., UB3 2NL as their Surveyor and the Adjoining Owners have appointed Messrs. Derek Sharp Partnership of 18 Compton Terrace, London, N.1 as their Surveyor.

Whereas:

The said two Surveyors have agreed that the President for the time being, of the Royal Institute of Chartered Surveyors shall elect a Third Surveyor to act in accordance with the said Act, in the event of a dispute.

this Award Witnesseth:

- i) That the drawing Nos.155/7G, 8H, 9G, 10G, 11E, 1JC, 14B and 15B prepared by David A. Lyons, AFS, MRSH, of 1 Bellhouse Cottages, Freemans Lane, Hayes, Middx., UB3 2NL and dated February, September and October 1977 and 133/1, 2 and 5 prepared by R.W. Smeeton, C. Eng., M.I. Struct. E., of 32 Sidwell Avenue, South Benfleet, Essex and dated August, September and October 1977 shall form part of this Award and copies are attached hereto and are hereafter called "the Drawings".
- ii) That the Building Owners shall raise up the old Party Wall to form Fifth Floor extension to main building and raise up the old Party Walls to the rear additions including 'Flexel' movement joint between the new brickwork and the Adjoining Owners extension and lead flashings to existing coping stones to parapet wall abutting new extensions, all as shown on the Drawings.
- iii) That the Building Owners shall carefully cut into old Party Wall and cast concrete padstones to receive steelwork all as shown on the Drawings.
- iv) That the Building Owners shall extend the existing fresh air intake duct on the Adjoining Owners flat roof in such a manner that it will not affect the existing fresh air ventilation system. This work will be executed to Messrs. Young Austin Young and Adjoining Owners Surveyor's approval.
- v) That the Building Owners shall raise up existing 100mm cast iron vent pipe in 100mm plastic terminating above parapet of new rear addition extension with domical grille all as shown on the Drawings.

- vi) that the Building Owners will execute the whole of the Works from their own side of the junction line between the two properties where it is necessary to gain access to flat roof, to raise up fresh air duct and clean off roof, will be made only with the Adjoining Owners Knowledge and previously given consent. The Building Owners will at all times take all reasonable precautions to safeguard the property of the Adjoining Owners.
- vii) The whole of the Works to be carried out at the sole cost of the Building Owners.
- viii) The Works to be executed in such a manner as to cause as little inconvenience as possible to the Adjoining Owners or to his occupants or property, and due to the residential nature of the Club, noisy work will not be carried out after 8.00 pm. The Building Owners shall promptly and efficiently repair and make good any damage occasioned by the Works to the Adjoining Owners property so that nothing disturbed shall be in a worse condition than it is now.
- ix) The Building Owners will indemnify the Adjoining Owners against all Claims arising out of damage or injury to persons or property as a result of the Works herein described.
- x) The Building Owners shall pay the charges of the Surveyors acting for the Adjoining Owners, amounting to £ 430.00 plus V.A.T. in respect of his services in connection with

continued.....

x) continued

this Award, such charges to include for one future visit the Site during progress of the Works and a final inspect upon completion.

Signed by Surveyor for

BUILDING OWNER *David A. Lyons AFS, MRSH.*

Signed by Surveyor for

ADJOINING OWNER *[Signature]*

Dated..... *21st February*1978

LN241416

PLAN NOTES:

1. COPYRIGHT not to be reproduced without permission.
2. Drawing not to be used for other than all 'first' use.
3. The 'first' use for other than all 'first' use.
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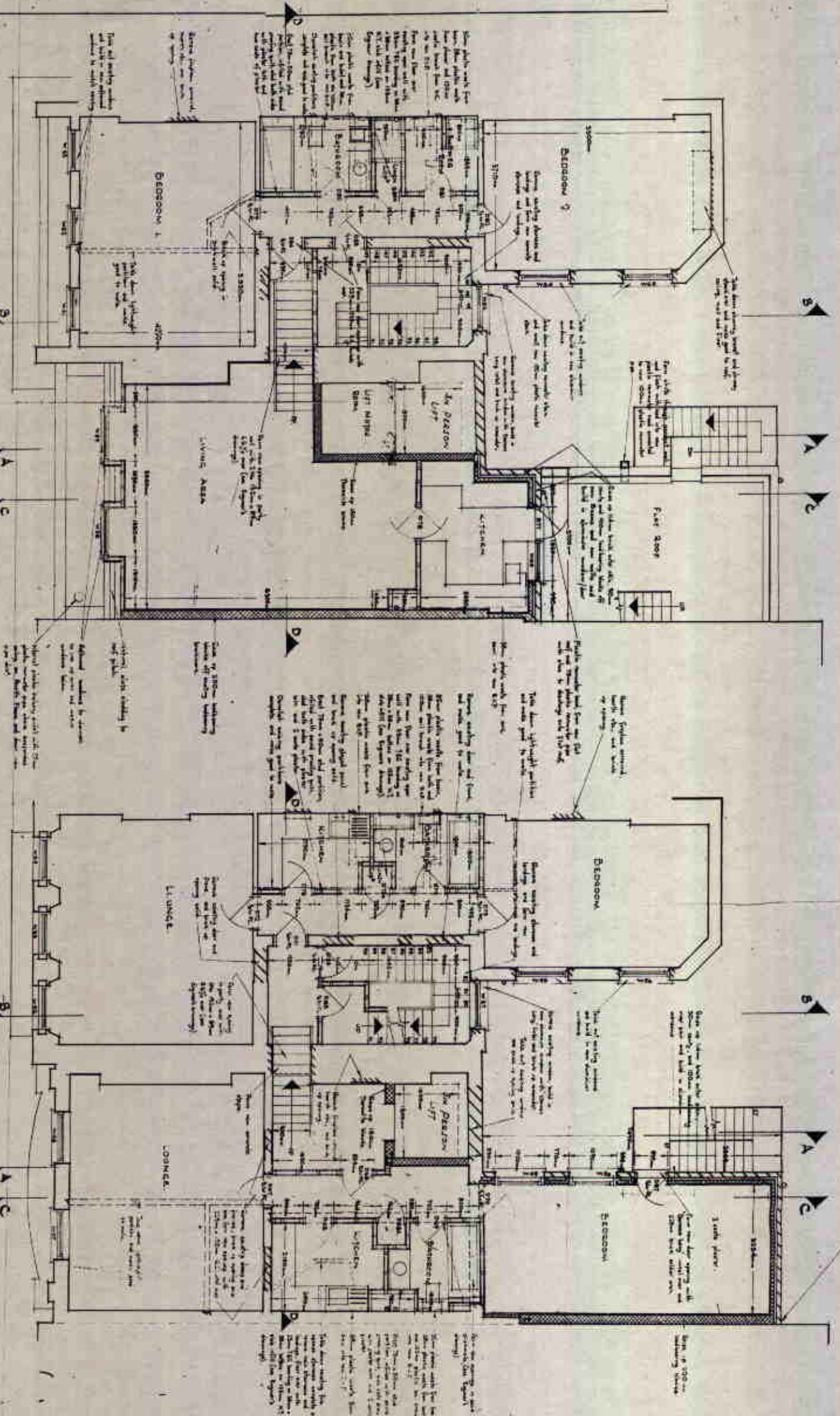
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H.M. LAND REGISTRY
TITLE No. 141/2000/15
PHOTOGRAPHIC COPY
of PLAN No. 141/2000/15
Sheet 1 of 1



PROPOSED EXTENSIONS
AND ALTERATIONS
5th & 4th Floor Plans

40/41 Pall Mall,
LONDON, S.W.1.

Prepared by
David A Lyons AFS, MESH
Building Surveyor,
1 Bellhouse Cottage, Putney Lane,
Hagley, Middlesex SW3 2NL.
Telephone: 01-581-0088
Drawn by
D A Lyons
February 1977
155/76



FIFTH FLOOR PLAN

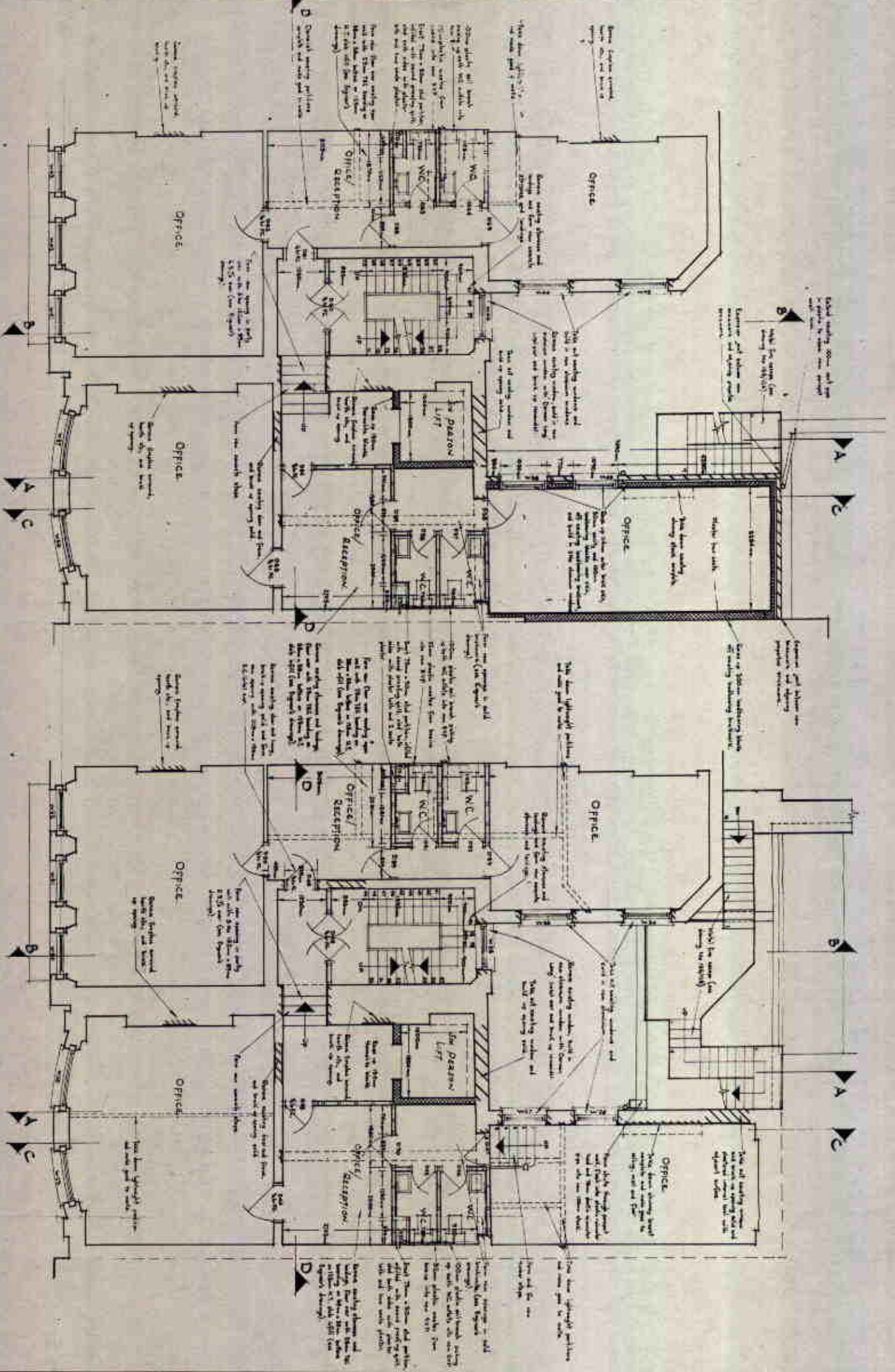
FOURTH FLOOR PLAN

NOTE:- No colour references
appeared on the filed copy of this
plan.

L/N 24/1416

THIRD FLOOR PLAN

SECOND FLOOR PLAN



NOTE:- No colour references appeared on the filed copy of this plan.

- PLAN NOTES**
1. CONTRASTING and to be mentioned without
 2. Dimensions to be noted.
 3. To be noted in the plan.
 4. Mechanical ventilation from above White Chamber
 5. To be noted in the plan.
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Reddy
H.M. LAND REGISTRY
TITLE NO. 141/24/1416
PHOTOGRAPHIC COPY
of PLAN to 3-4-78
dated 21.2.1978



PROPOSED EXTENSIONS AND ALTERATIONS
3rd & 2nd Floor Plan.

40/41 PALE MALL,
LONDON, S.W.1

Drawn by:
David A. Lyons AFS, MESH
Building Surveyor,
1 Bellhouse Cottage, Fremont Lane,
Hagley, Middlesex UB8 2NL
Telephone: 01-581-6050

Drawn by:
D. A. Lyons
Reviewed by:
26/10/77
Scale: 1/50

155/84.

LN 241416

PLAN NOTES

1. CONVEYANCE not to be registered without permission.
2. Drawing not to be copied.
3. No part of this plan shall be used for any purpose other than that for which it was prepared.
4. No alteration shall be made to the plan without the written consent of the Surveyor.
5. Working drawings for any alterations to be submitted to the Surveyor for approval.
6. This drawing is to be used in conjunction with the original plan.

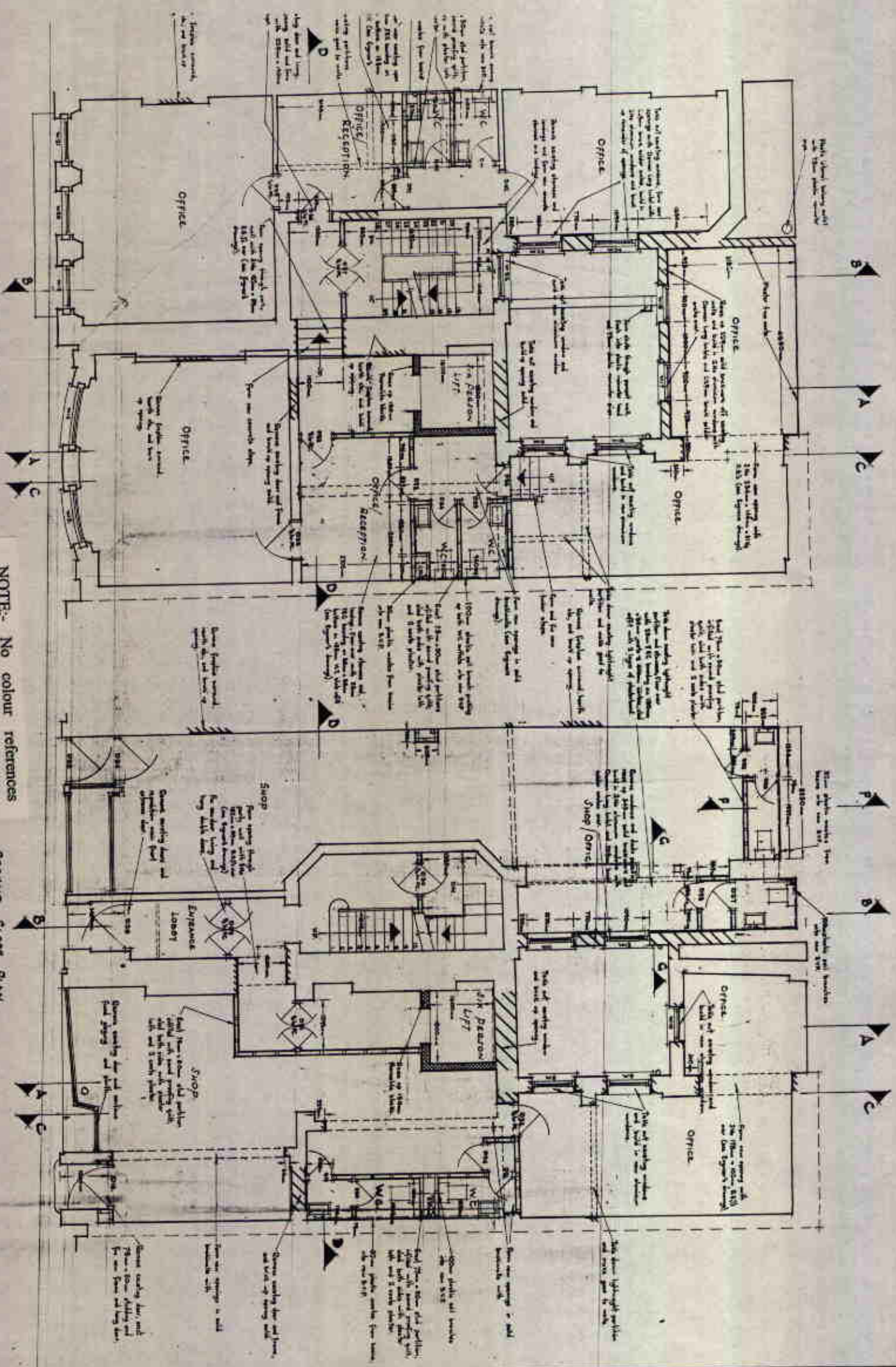
NOTE: This Deed/Plan was of poor quality prior to imaging.

Registered
H.M. LAND REGISTRY
TITLE NO. LN 241416
PHOTODUPLICATION COPY
made by computer in 1977
at H.M. Land Registry
dated 21.12.1977



PROPOSED EXTENSION AND ALTERATIONS.
1st & 2nd Floor Plans
40/41 DALL MALL,
LONDON, S.W.1.

Prepared by
David A. Lyons, AFS, MInst
Building Surveyors,
1 Bellhouse Cottages, Putney, S.W.15.
Hagley, Middle, W5 2AL.
Telephone: 01-561-0086.
Drawn by
D. A. Lyons
Reviewed by
R. W. 1977
Scale: 1/50



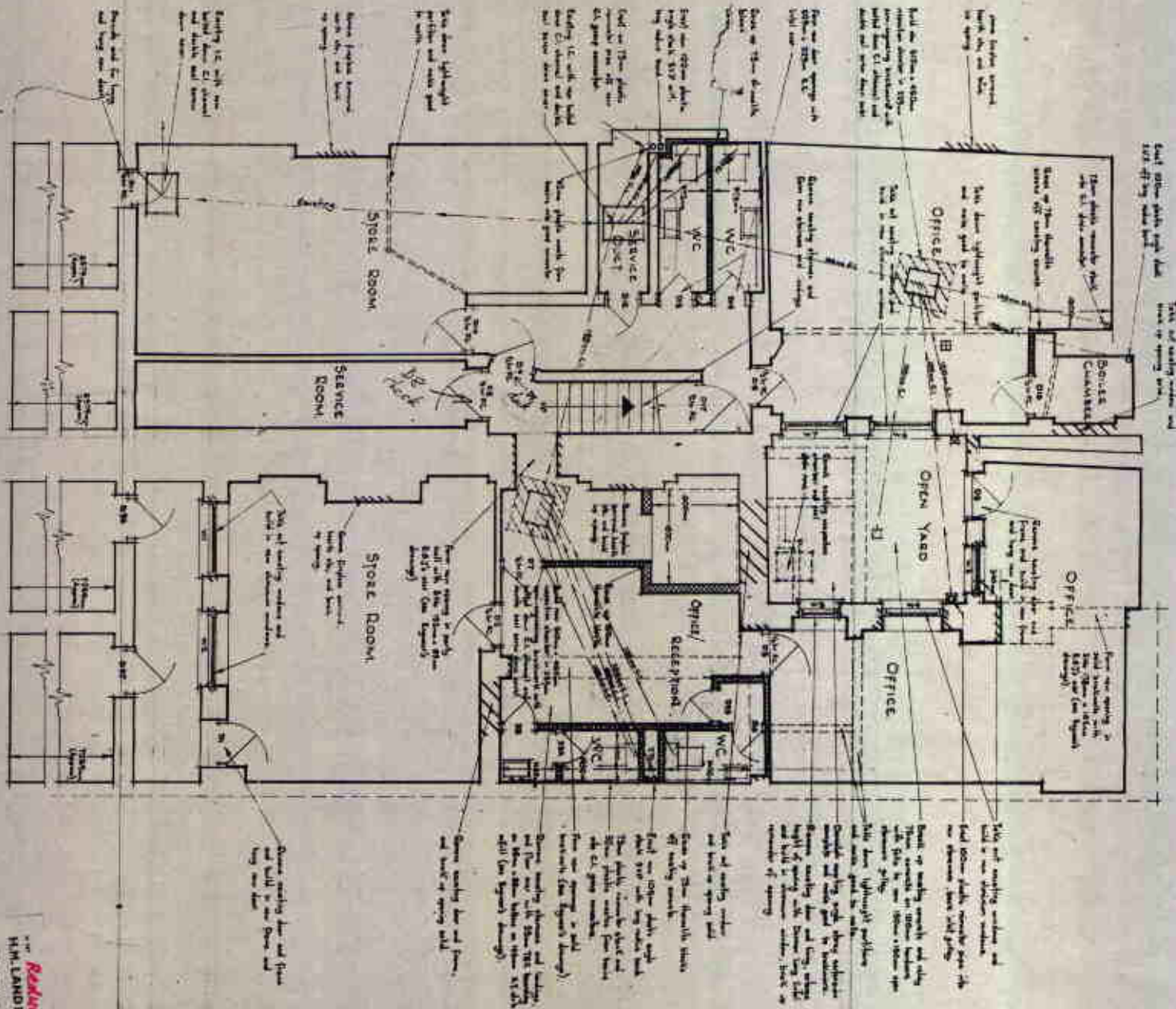
NOTE: No colour references appeared on the filed copy of this plan.

1st Floor Plan.

2nd Floor Plan.

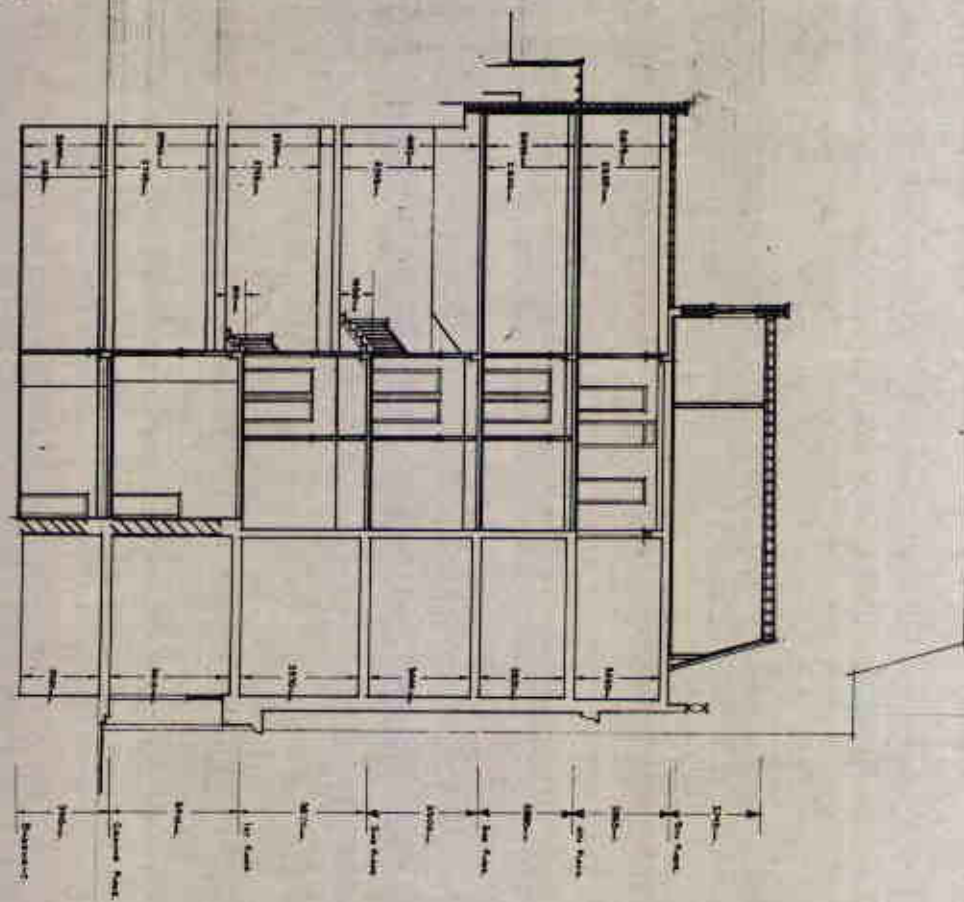
KN/241416

Basement Floor Plan

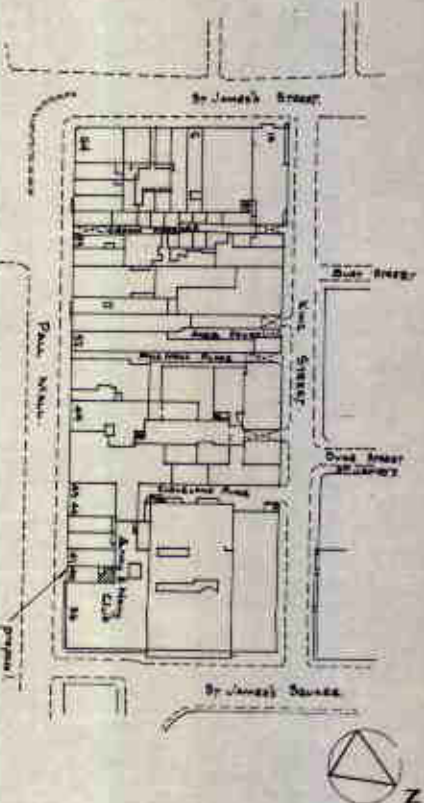


Reduced
H.M. LAND REGISTRY
TITLE NO. 100, 234, 235
PHOTODUPLICATION COPY
of PLAN to C/REGD
date 21.2.1974

SECTION C-C



Block Plan (Scale 1:1000)



NOTE:- No colour references
appeared on the filed copy of this
plan.

PLAN NOTES

1. Consultant and to be modified as follows:-
2. Drawing not to be modified as follows:-
3. The site of the building is shown as a 'Proposed' building.
4. The building is shown as a 'Proposed' building.
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PROPOSED EXTENSIONS
AND ALTERATIONS
BASEMENT FLOOR PLAN & SECTION
40/41 PALE MALL,
LONDON, SW1

David A. Lyons, A.P.S., M.R.S.H.
Building Surveyor,
1 Bellhouse Cottage, Putney Lane,
Putney, Middlesex SW5 2NL
Telephone: 01-861-0058

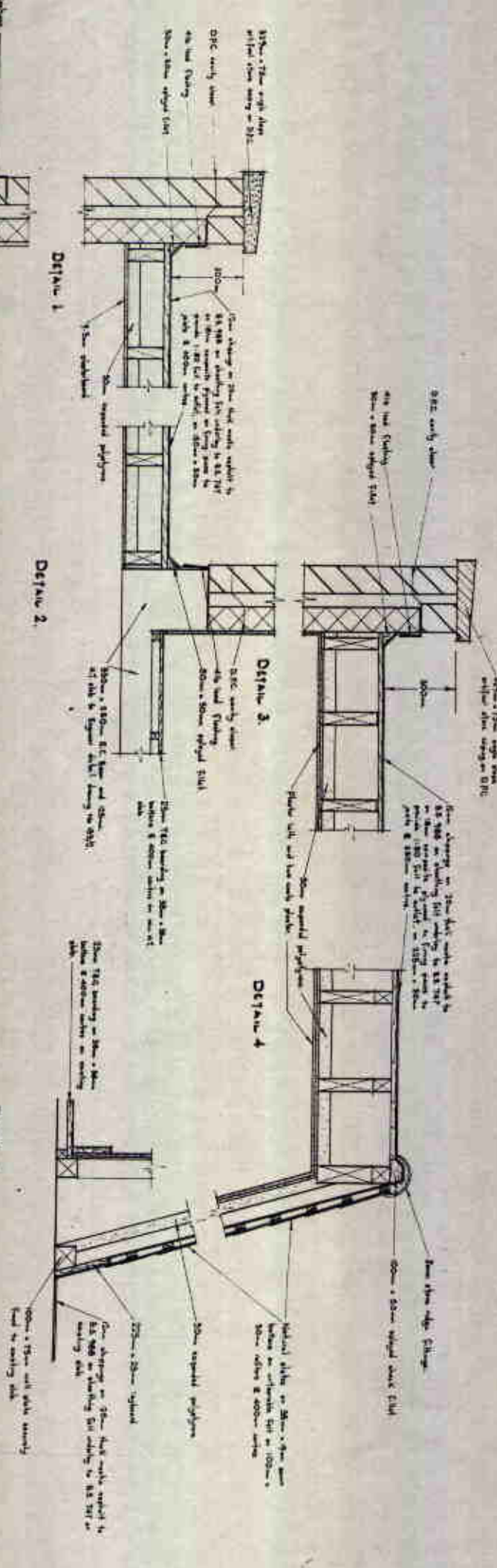
D. A. Lyons
155/105
150

LN241416

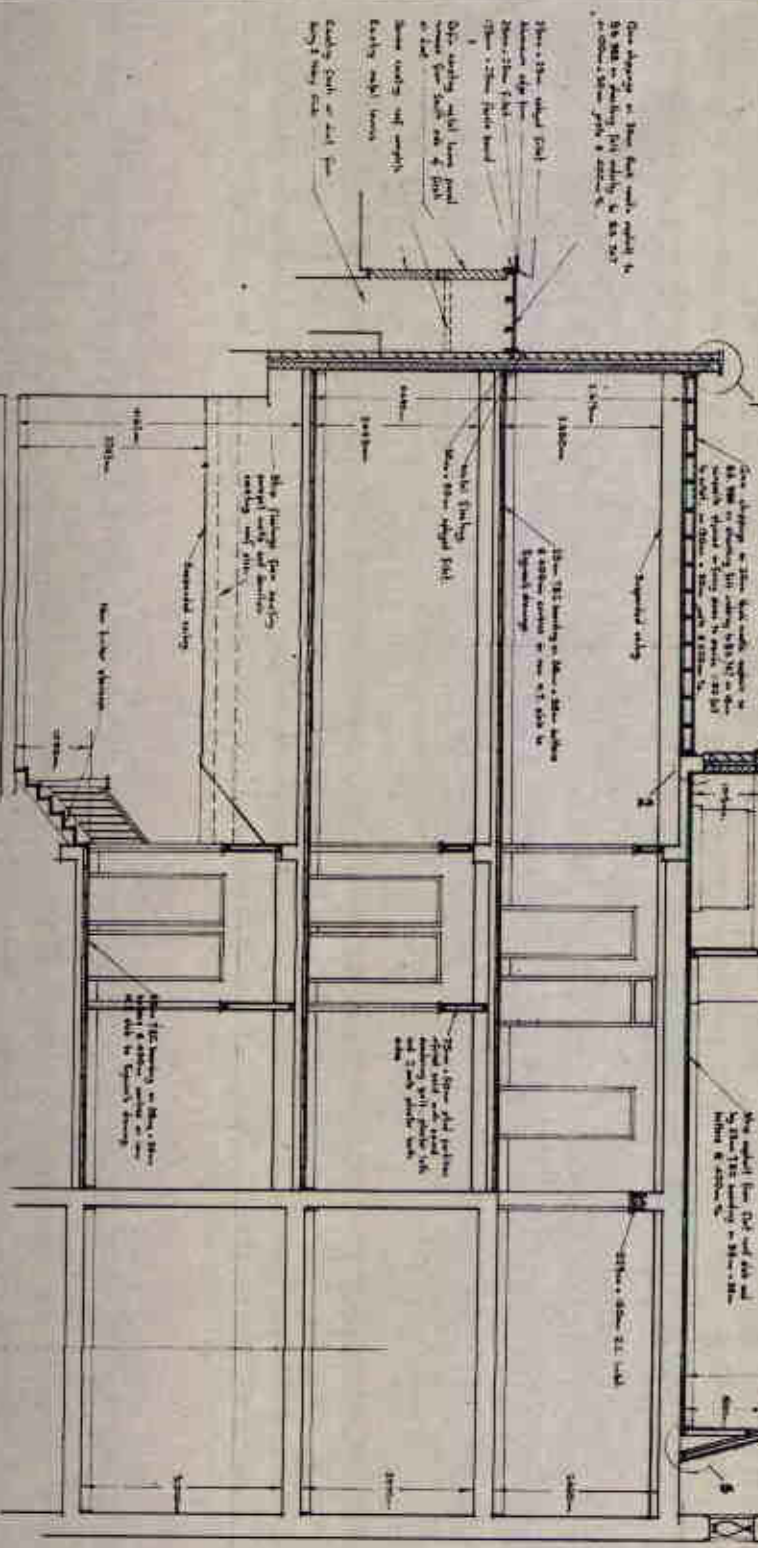
PLAN NOTES

- 1. CORRECTIONS will be forwarded without charge.
- 2. Drawing not to be used for construction without the approval of the Surveyor.
- 3. For S.C. Plans and S.C. with additional drawings see 1931 and 1941/2.

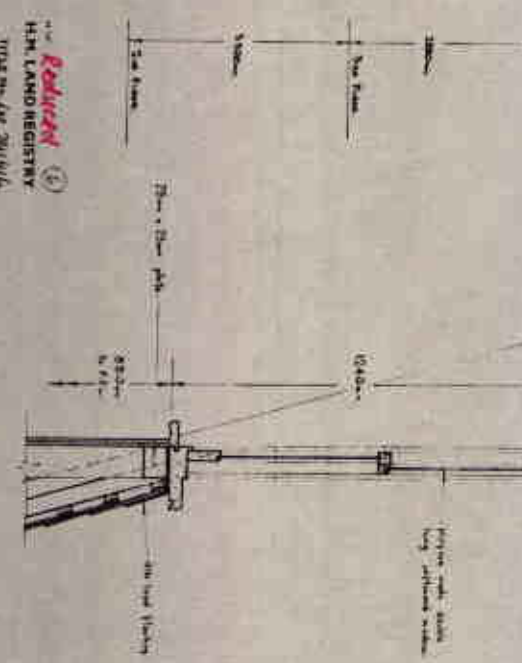
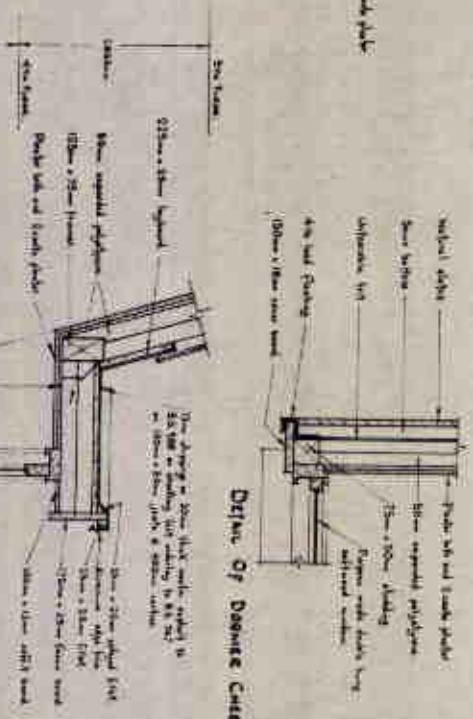
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TYPICAL DETAIL AT JUNCTION OF PARAPET STREET AND MAIN BUILDING



DETAIL OF DOWNPIPE



NOTE:- No colour references appeared on the filed copy of this plan.

PART OF SECTION C-C

SECTION THROUGH DOWNPIPE

PROPOSED EXTENSIONS AND ALTERATIONS
PART OF SECTION C-C & DETAILS

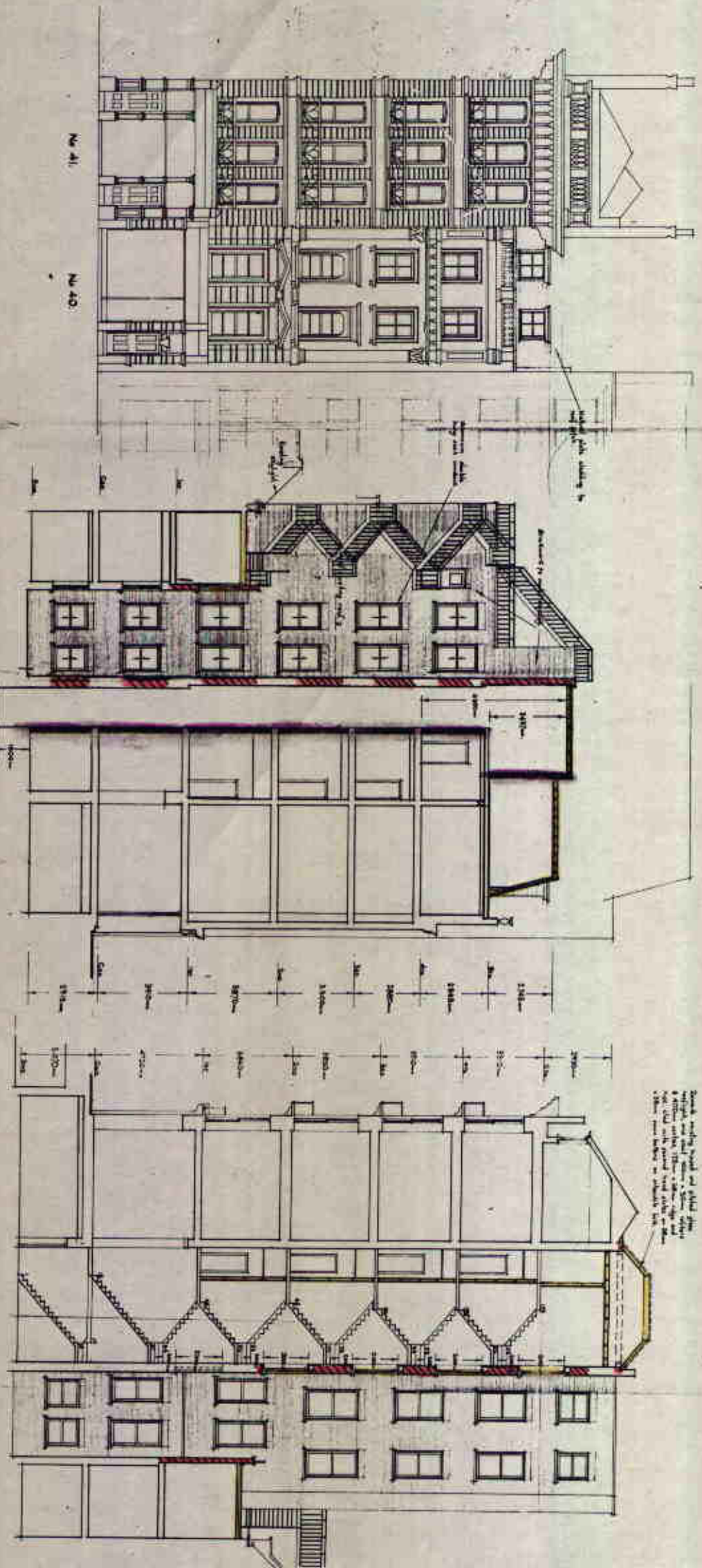
40/41 PAUL MALL,
LONDON, S.W.1

David A. Lyons A.F.S., N.A.S.H.,
Building Surveyor,
1 Bullhouse Cottages, Finsbury Lane,
Hagley, Middlesex, N6 5 2UL
Telephone: 01-581-6050

D. A. Lyons
September 1977
155/13

LN 241416

PLAN NOTES:
1. COPYRIGHT not to be reproduced without permission.
2. Drawing not to be used for other than the purpose for which it was prepared.
3. The liability of the draughtsman is limited to the design of the building and not to the construction of the building.
4. The liability of the architect is limited to the design of the building and not to the construction of the building.
5. The liability of the engineer is limited to the design of the building and not to the construction of the building.



FRONT ELEVATION

SECTION 'A-A'

SECTION 'B-B'

Reduced
H.M. LAND REGISTRY
TITLE No. 141 241 416
PHOTOGRAPHIC COPY
of PLAN No. 141 241 416
dated 27.9.1977

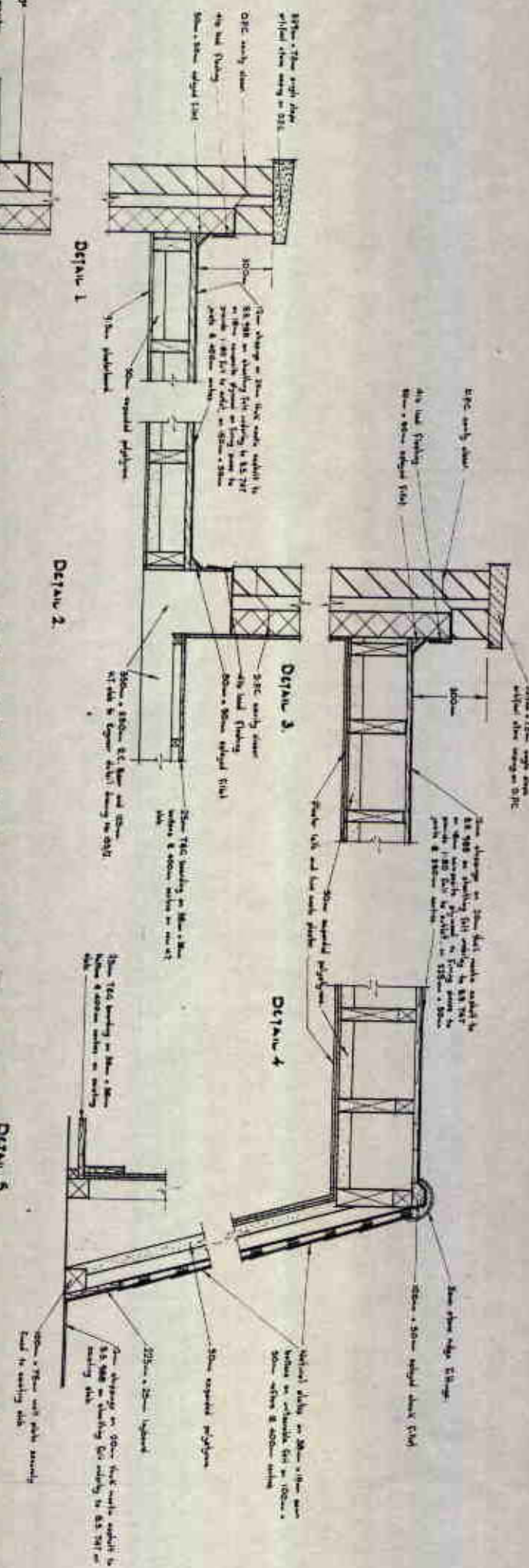
PROPOSED EXTENSIONS AND ALTERATIONS	
Front Elevation & Sections A-A, B-B.	
40/41 DALL MALL, LONDON, S.W.1.	
Designed by David A Lyons AFS, NIESA Building Surveyors, 1 Bullhouse Cottages, Friarage Lane, Hagley, Middlesex TW2 2NL Telephone 01-561-6056	
Drawn by D. A. Lyons	Checked by 155/11E.
Date February 1977	Scale 1:100

LN241416

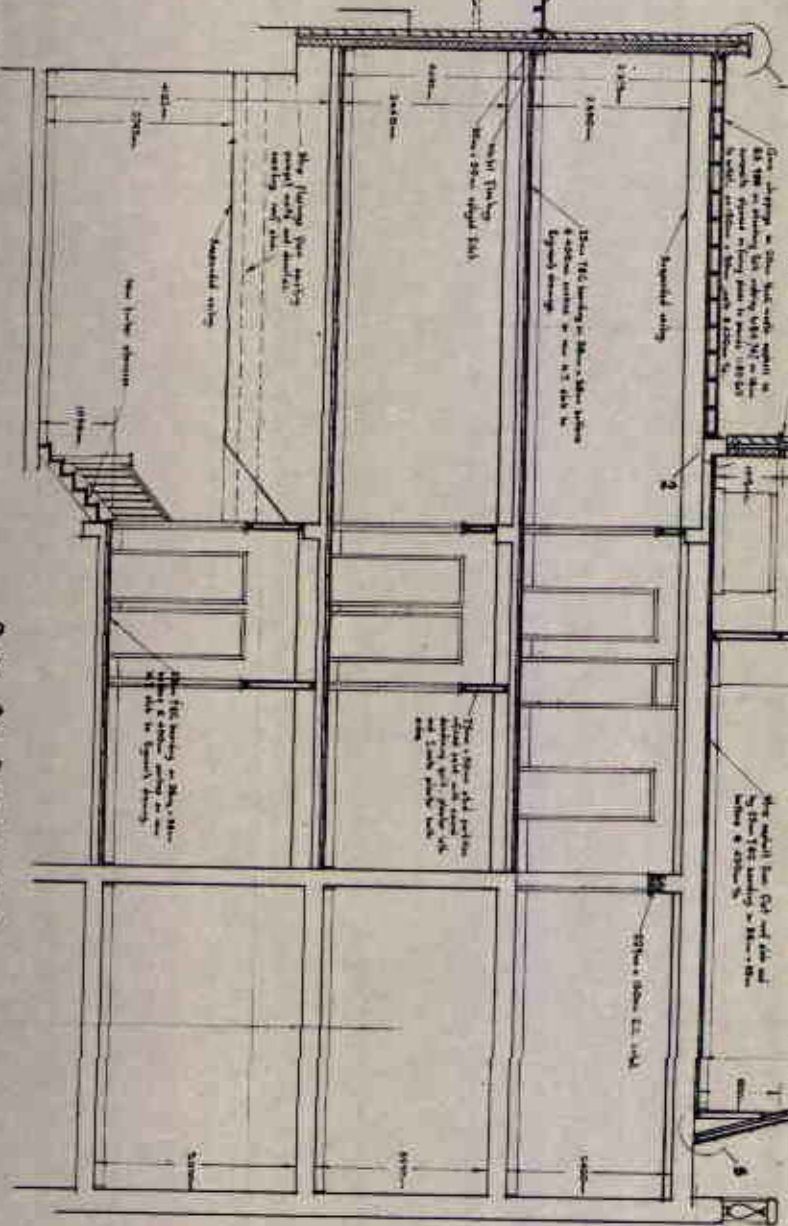
PLAN NOTES

1. CONVEYANCE NOT TO BE REPRODUCED WITHOUT PERMISSION OF THE SURVEYOR.
2. FOR ALL OTHERS AND NOT WITH ANY OTHER DRAWING NO. 241416 AND 1977.

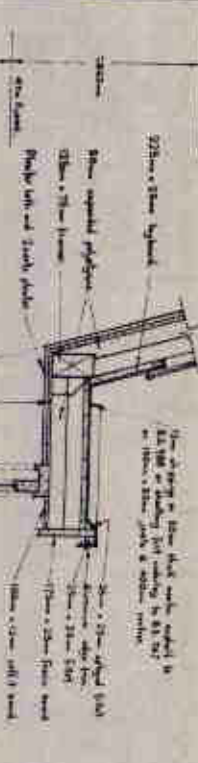
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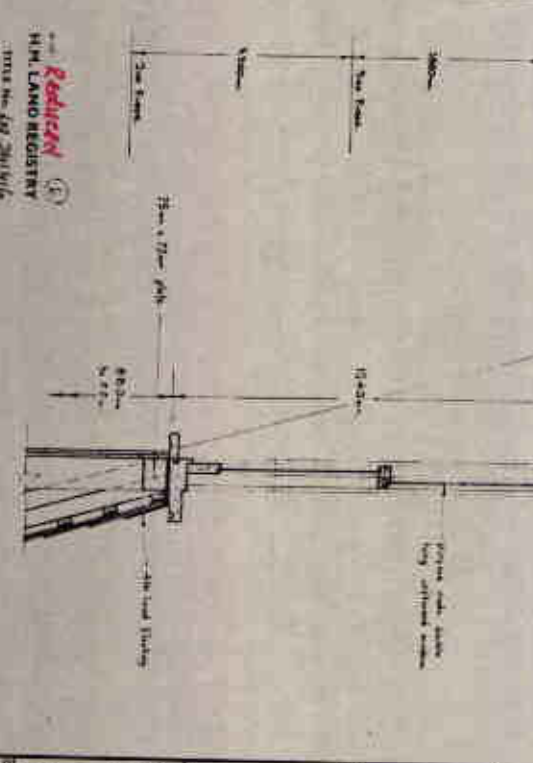
TYPICAL DETAIL AT JUNCTION OF PARAPET STREET AND NEW BUILDING



DETAIL OF DORMER CHIMNEY



PART OF SECTION C-C



No colour references in the filed copy of this

PROPOSED EXTENSIONS AND ALTERATIONS
PART OF SECTION C-C & DETAILS

40/41 PAUL MALL,
LONDON, S.W.1

David A. Lyons A.P.S., N.E.S.H.,
Building Surveyor,
1 Bellhouse Cottages, Putney Lane,
Hazel, Middle, S.W.14.
Telephone: 01-581-0050

155/13C

1504110

PLAN NOTES:

1. COPYRIGHT not to be reproduced without permission
2. Drawing not to be scaled
3. The shape of the column on drawing not identical to the shape of the column and ceiling on site-plan
4. Legend showing the 12x15 and 14



Section 'B-B'

PHOTOGRAPHIC COPY
of PLANS for
dated 27-0-18

PROPOSED EXTENSIONS
AND ALTERATIONS:
BROWN, EVERS & SONS A-A, 10-12,
40/41 PALE MALL,
LONDON, S.W.1.

David A Lyra, AFS, NLRM Building Surveyor, 11 Bellhouse Cottages, Friarstone Lane, Higgs, Middle DGS 2ML Telephone 01-561-6056	Order by D A Lyra	Order ref. 155/11E.
Date February 1977		
Time 1:100		



FIRST FLOOR PLAN



Title No. *LN 24146*
REDUCED COPY OF PLAN
(not to scale) to *Good*
dated *21.2.1978*



NOTE:- This Deed/Plan was of poor quality prior to Imaging.

1.1

$$\frac{5}{5-5}$$

GENERAL INVESTIGATIVE
DIVISION
MEMPHIS
ATTENTION:

27. School bus

卷之六

2/20