

These are the notes referred to on the following official copy

Title Number LN241416

The electronic official copy of the document follows this message.

This copy may not be the same size as the original.

Please note that this is the only official copy we will issue. We will not issue a paper official copy.

LN 241416

A D D E N D U M

To a Party Structure Award

London Building Acts (Amendment) Act 1939 Part VI

in respect of

No. 40 Pall Mall, London S.W.1.

and

Army & Navy Club, Pall Mall, London, S.W.1.

We hereby certify this to be
a true copy of the original

B. Leighton
Berwin Leighton,
Adelaide House,
London Bridge,
London, EC4R 9HA.

80-10-29

13.6.79

①

LN 241416

London Building etc (Amendment) Act 1939 Part VI in respect of
No. 40 Pall Mall, London. C.V.1.

and

Army & Navy Club, Pall Mall, London. C.V.1.

Now this Addendum Witnesseth and is to be described as paragraph XI of the said
Award.

- vi) a) At Fifth Floor flat roof level the Building Owners shall form an opening in the South West flank wall of the Army and Navy Club, as indicated on drawing No. 155/20B, provided with R.C. boot lintol, timber door frame, external grade half hour fire check flush panel door and glass encased panic bolt as the only form of opening mechanism.
- b) The said door shall be fitted with an electrically controlled contact through a transformer and bell, plus indicator light, terminating in Porter's Lodge at Ground Floor level so as to complete the circuit when the door is in the open position as an audible measure.
- c) Alter and adapt landing on the staircase adjacent to the proposed opening as may be required, constructed in timber and fixed to existing structure.
- d) The whole of the Works to be carried out at the sole cost of the Building Owners.
- e) The additional fee in respect of this Addendum for the services of the Adjoining Owners' Surveyor shall be £150.00

Signed by Surveyor for

Building Owner

David A. Lyons AFS MRSH.

Signed by Surveyor for

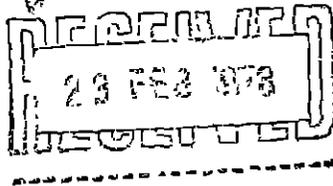
Adjoining Owner

[Handwritten signature]

Dated 13th June 1979

① LN 241416

RL
LN 24/4/16



PARTY STRUCTURES AWARD

Between

40/41 PALL MALL , S.W.1

and

ARMY AND NAVY CLUB , PALL MALL , S.W.1

We hereby certify this to be
a true copy of the original

Barwin Leighton

Barwin Leighton,
Apside House,
London Bridge,
London, EC4R 9HA.

30-10-79

PARTY STRUCTURES AWARD

the Matter of the

London Building Acts (Amendment) Act 1939 Part VI in
respect of No. 40 Pall Mall, London, S.W.1

and

Army and Navy Club, Pall Mall, S.W.1

Whereas: Messrs. Barking Industrial Properties Ltd. (hereinafter called the Building Owners) are the Freeholders of the premises known as No. 40 Pall Mall, London, S.W.1 and

Whereas: Army and Navy Club (hereinafter called the Adjoining Owners) are the Freeholders of the premises known as Army and Navy Club, Pall Mall, London, S.W.1 and

Whereas: The Building Owners have served upon the Adjoining Owners Notice in writing on 17th June 1977, under Part VI Section 45 sub-section b of the aforesaid Act, of their intention to execute certain Works to the Party Wall between the two properties in connection with extensions to No. 40 Pall Mall, S.W.1 by the Building Owners on this site.

Whereas: A difference was deemed to have arisen between the Building Owners and the Adjoining Owners, and the Building Owners have appointed David A. Lyons, AFS, MRSH, of 1 Bellhouse Cottages, Freemans Lane, Hayes, Middx., UB3 2NL as their Surveyor and the Adjoining Owners have appointed Messrs. Derek Sharp Partnership of 18 Compton Terrace, London, N.1 as their Surveyor.

Whereas: The said two Surveyors have agreed that the President for the time being, of the Royal Institute of Chartered Surveyors shall elect a Third Surveyor to act in accordance with the said Act, in the event of a dispute.

this Award Hineseth:

- i) That the drawing Nos.155/7G, 8H, 9G, 10G, 11E, 1JC, 14B and 15B prepared by David A. Lyons, AFS, MRSH, of 1 Bellhouse Cottages, Freemans Lane, Hayes, Middx., UB3 2NL and dated February, September and October 1977 and 133/1, 2 and 5 prepared by R.W. Smeeton, C. Eng., M.I. Struct. E., of 32 Sidwell Avenue, South Benfleet, Essex and dated August, September and October 1977 shall form part of this Award and copies are attached hereto and are hereafter called "the Drawings".
- ii) That the Building Owners shall raise up the old Party Wall to form Fifth Floor extension to main building and raise up the old Party Walls to the rear additions including 'Flexel' movement joint between the new brickwork and the Adjoining Owners extension and lead flashings to existing coping stones to parapet wall abutting new extensions, all as shown on the Drawings.
- iii) That the Building Owners shall carefully cut into old Party Wall and cast concrete padstones to receive steelwork all as shown on the Drawings.
- iv) That the Building Owners shall extend the existing fresh air intake duct on the Adjoining Owners flat roof in such a manner that it will not affect the existing fresh air ventilation system. This work will be executed to Messrs. Young Austin Young and Adjoining Owners Surveyor's approval.
- v) That the Building Owners shall raise up existing 100mm cast iron vent pipe in 100mm plastic terminating above parapet of new rear addition extension with domical grille all as shown on the Drawings.

- vi) that the Building Owners will execute the whole of the Works from their own side of the junction line between the two properties where it is necessary to gain access to flat roof, to raise up fresh air duct and clean off roof, will be made only with the Adjoining Owners Knowledge and previously given consent. The Building Owners will at all times take all reasonable precautions to safeguard the property of the Adjoining Owners.
- vii) The whole of the Works to be carried out at the sole cost of the Building Owners.
- viii) The Works to be executed in such a manner as to cause as little inconvenience as possible to the Adjoining Owners or to his occupants or property, and due to the residential nature of the Club, noisy work will not be carried out after 8.00 pm. The Building Owners shall promptly and efficiently repair and make good any damage occasioned by the Works to the Adjoining Owners property so that nothing disturbed shall be in a worse condition than it is now.
- ix) The Building Owners will indemnify the Adjoining Owners against all Claims arising out of damage or injury to persons or property as a result of the Works herein described.
- x) The Building Owners shall pay the charges of the Surveyors acting for the Adjoining Owners, amounting to £ 430.00 plus V.A.T. in respect of his services in connection with

continued.....

x) continued

this Award, such charges to include for one future visit the Site during progress of the Works and a final inspect upon completion.

Signed by Surveyor for

BUILDING OWNER *David. A. Lyons AFS. MRSH.*

Signed by Surveyor for

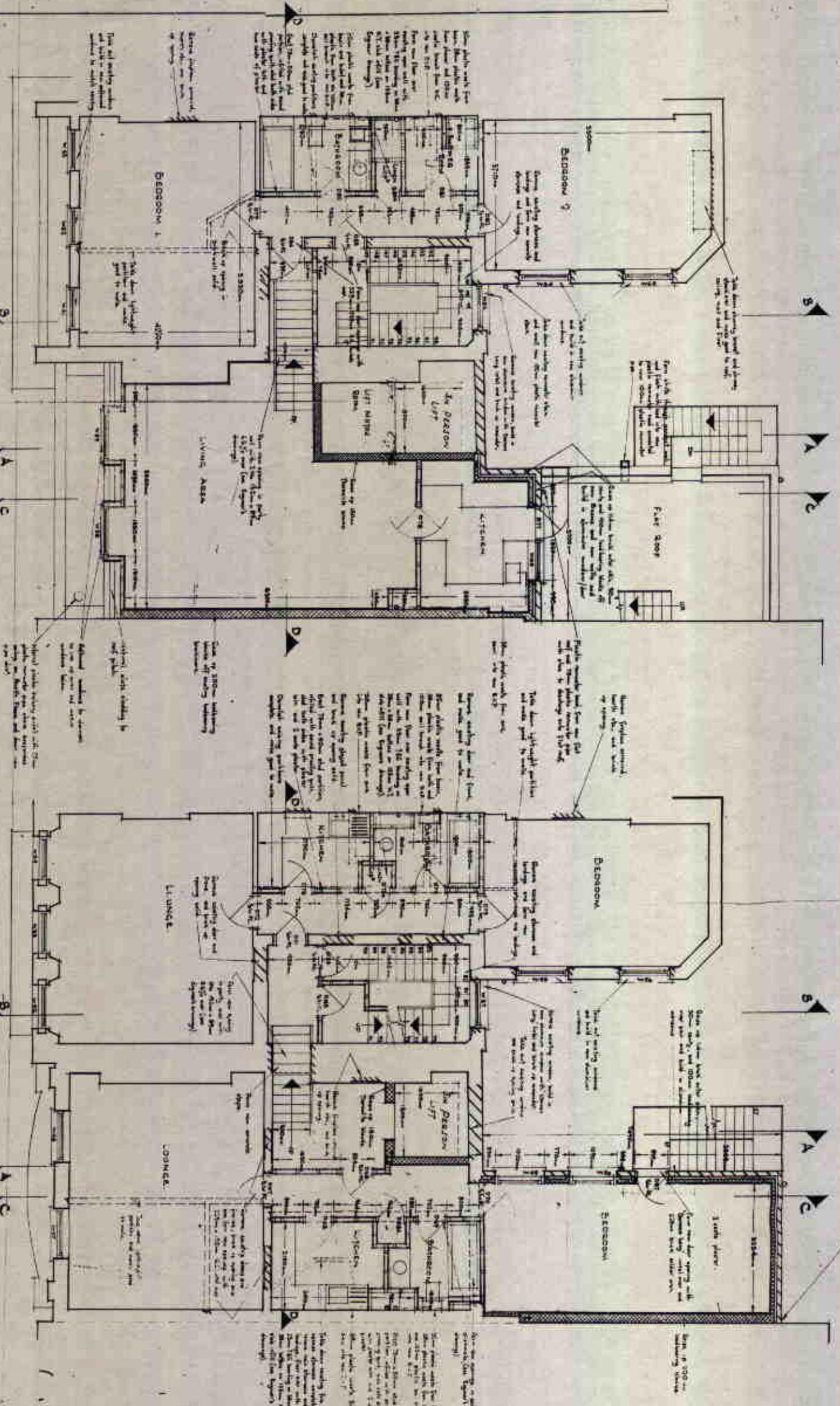
ADJOINING OWNER *[Signature]*

Dated..... *21st. February* 1978

LN 241416

FIFTH FLOOR PLAN

FOURTH FLOOR PLAN



Examine first before
proceeding with
proposed alterations

- PLAN NOTES:**
1. COPYRIGHT not to be reproduced without permission.
 2. Drawing not to be used for other than all 'As Shown'.
 3. Structural alterations from other plans require 400 drawings and a minimum size of 100 cells. All drawings shall be submitted to the Works Dept. for approval.
 4. Working drawings for the lift to be submitted to the Works Dept. before work on lift commences.
 5. Working drawings to be submitted to the Works Dept. before work on lift commences.
 6. Working drawings to be submitted to the Works Dept. before work on lift commences.
 7. The drawings to be submitted to the Works Dept. before work on lift commences.

Redfern
H.M. LAND REGISTRY
TITLE No. 141/200/15
PHOTODUPLICATION COPY
OF PLAN No. 155/76
Scale 1/2500

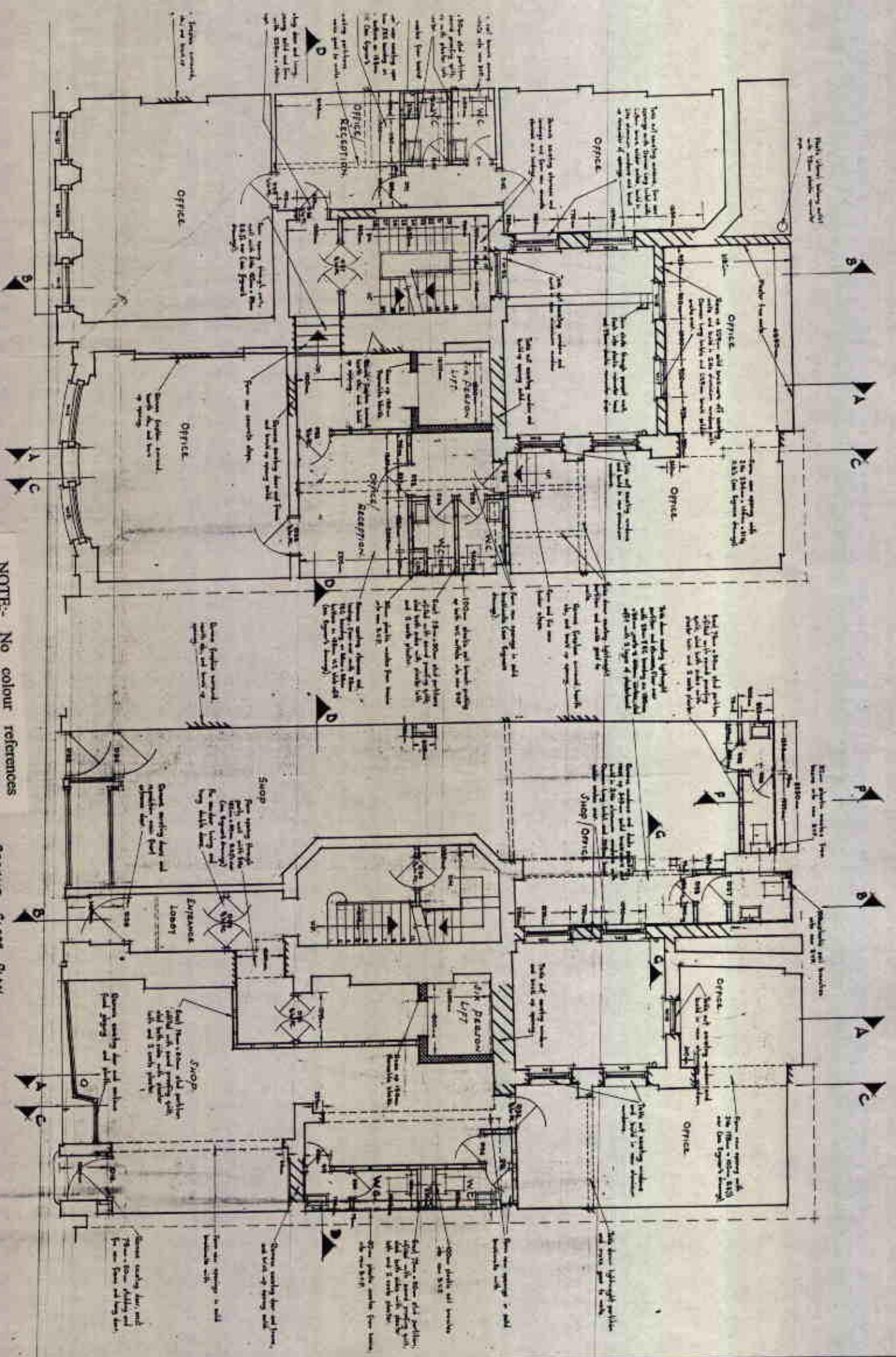


**PROPOSED EXTENSIONS
AND ALTERATIONS**
5th & 4th Floor Plans
40/41 Pall Mall,
LONDON, S.W.1.

Prepared by
David A Lyons AFS, MESH
Building Surveyor,
1 Bellhouse Cottages, Putney Lane,
Hagley, Middle, UB8 3WJ.
Telephone: 01-581-0058

Drawn by
D.A. Lyons
Date
February 1977
Drawing No.
155/76

LN 241416



NOTE: No colour references appeared on the filed copy of this plan.

First Floor Plan.

GROUND FLOOR PLAN.

- PLAN NOTES**
1. CONSIDER not to be regarded as a preliminary and to be void.
 2. This is a first floor plan and does not show any other floors.
 3. No structural walling from external walls shown.
 4. Structural walling from internal walls shown.
 5. The floor is shown as being of 100 mm concrete on 100 mm brickwork. The structural walls of the building shall be shown at least 100 mm thick.
 6. Working drawings for any lifts to be attached to the building drawings made on 1/10/77.
 7. This drawing is to be read in conjunction with the drawings showing the 1/5/77 drawings.

NOTE: This Deed/Plan was of poor quality prior to imaging.

Patented
H.M. LAND REGISTRY
TITLE NO. A1/204116
PHOTODUPLICATION COPY
MAY BE MADE BY ANY PERSON
IN GREAT BRITAIN
DATE 21. 2. 1977



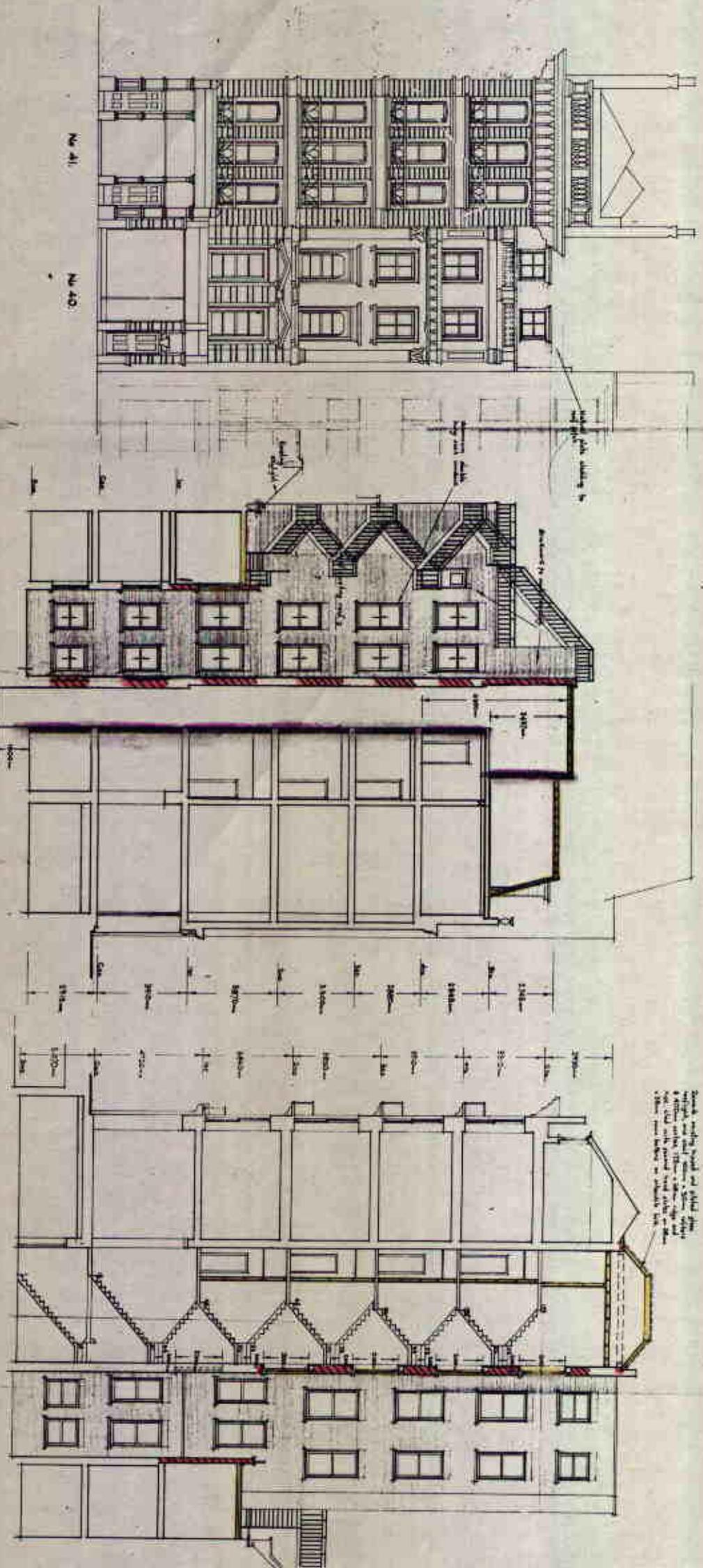
PROPOSED EXTENSION AND ALTERATIONS.
1st & Gnd Floor Plans
40/41 PAUL MALL,
LONDON, S.W.1.

Prepared by
David A Lysons AFS, MInst
Building Surveyors,
1 Bellhouse Cottages, Premises 1
Hagley, Mills, UES 2nd.
Telephone: 01-561-0086.
Drawn by
D. A. Lysons
Reviewed by
R. B. W. 1977
Scale: 1/50
155/10

LN 241416

PLAN NOTES:

1. Copy/submit out to be reproduced without permission.
2. Drawing not to be used.
3. The holder of the design, on issuing the design, shall be deemed to have accepted the liability for the design, and shall be deemed to have accepted the liability for the design, and shall be deemed to have accepted the liability for the design.



Façade Elevation

Section 'A-A'

Section 'B-B'

Reduced
 H.M. LAND REGISTRY
 TITLE No. 141 211 2
 PHOTO-DUPLICATION COPY
 of PLAN No. 141 211 2
 dated 27.9.77

PROPOSED EXTENSIONS AND ALTERATIONS
 Façade Elevation & Sections A-A, B-B.

40/41 DALL MALL,
 LONDON, S.W.1

Designed by
 David A Lyons AFS, MRSA
 Building Surveyor,
 1 Bullhouse Cottages, Fremont Lane,
 Hayes, Middlesex UB8 3NL
 Telephone 01-561-6056

Drawn by
 D. A. Lyons

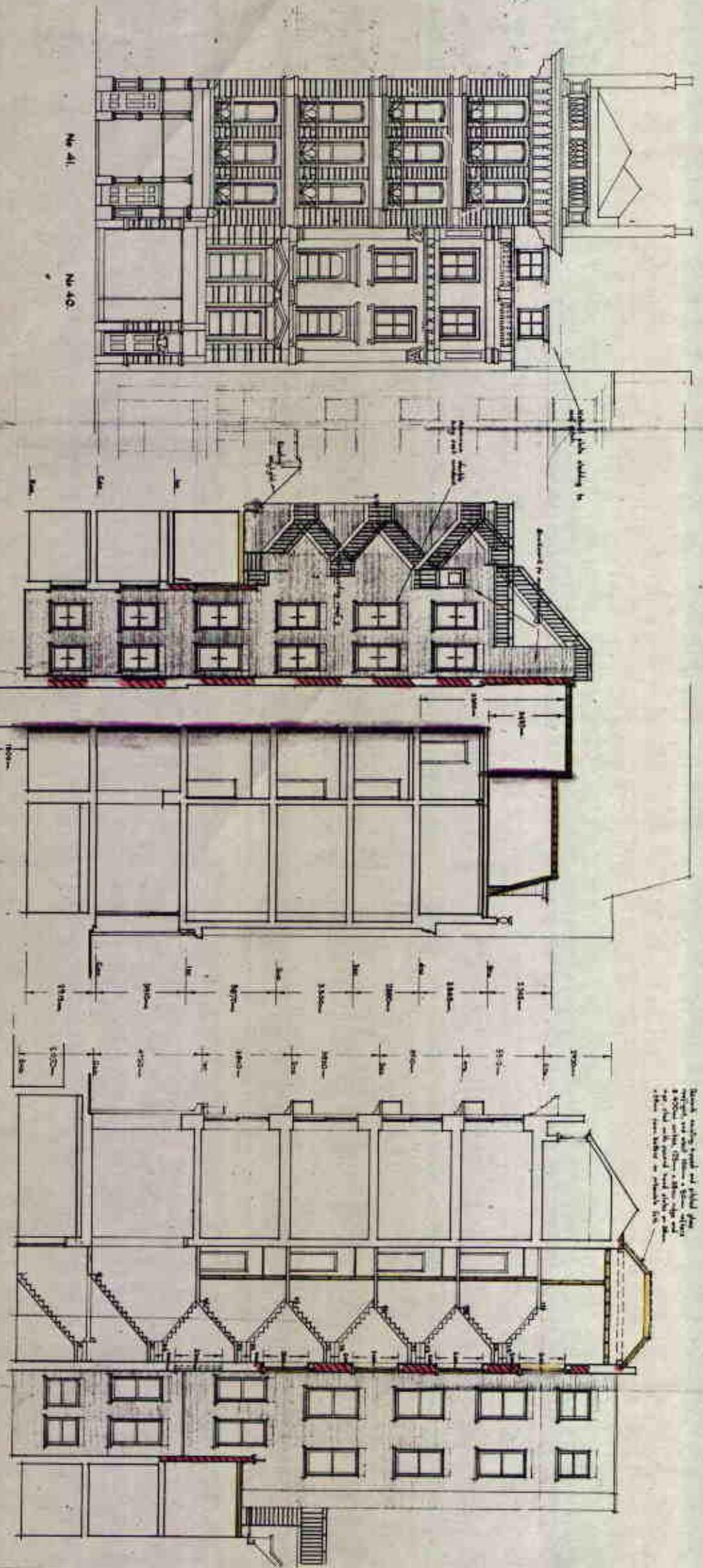
Date
 February 1977

Scale
 1:100

155/11E.

LN 24/416

PLAN NOTES:
 1. COPYRIGHT not to be reproduced without permission.
 2. Drawing not to be scaled.
 3. In the event of any dispute as to the accuracy of the drawing, the architect's drawings shall be the standard.
 4. Engineer's drawings Nos. 155/11E and 11F.



FRONT ELEVATION.

Section 'A-A'

Section 'B-B'

Reduced
 H.M. LAND REGISTRY
 TITLE No. LVE 211111
 PHOTO LITHOGRAPHIC COPY
 OF PLAN IN CHECK
 dated 27.12.1977

PROPOSED EXTENSIONS AND ALTERATIONS:
 Front Elevation & Sections A-A, B-B.

Contract:
 40/41 DALL MALL,
 LONDON, SW1

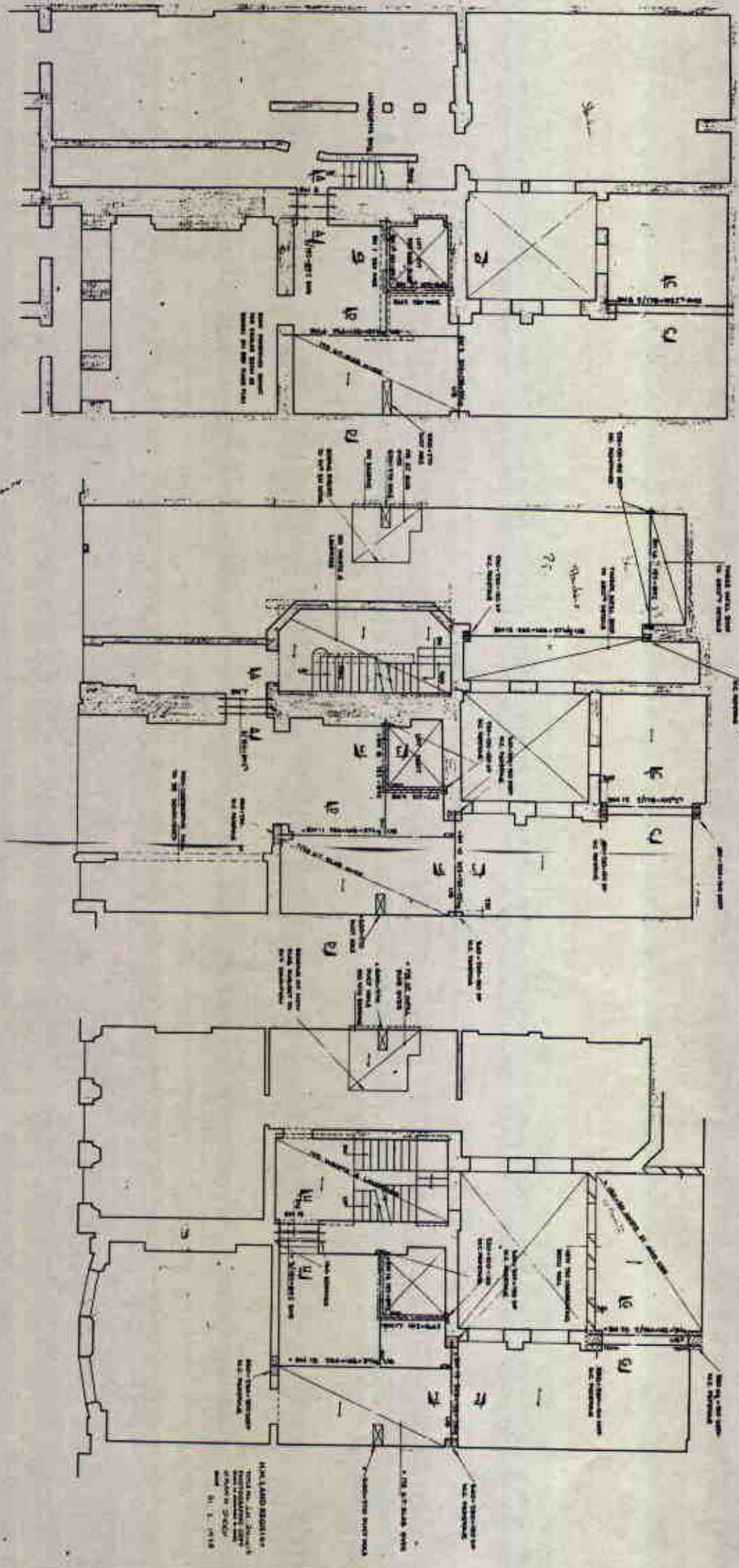
Prepared by
 David A Lyers AFS, MRCSM
 Building Surveyor,
 1 Bullhouse Cottages, Fremont Lane,
 Hayes, Middx. UB5 2NL.
 Telephone: 01-561-6056

Drawn by
 D. A. Lyers
 Date February 1977

Scale: 1/100

155/11E.

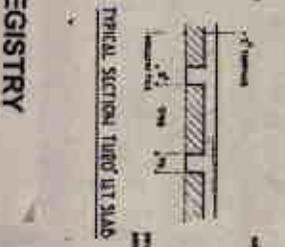
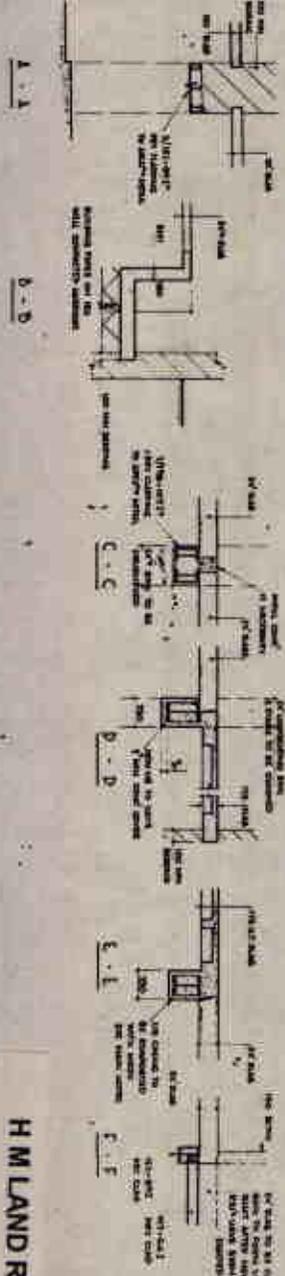
LN241416



BASEMENT PLAN

GROUND FLOOR PLAN

FIRST FLOOR PLAN



NOTE: No colour references appeared on the filed copy of this plan.

H M LAND REGISTRY
Title No. LN241416
REDUCED COPY OF PLAN
(not to scale) to Good
dated 21.2.1978

1. The drawings are the property of the architect and are to be used only for the purposes for which they are prepared. They are not to be used for any other purpose without the written consent of the architect.

2. The drawings are not to be used for any other purpose without the written consent of the architect.

3. The drawings are not to be used for any other purpose without the written consent of the architect.

4. The drawings are not to be used for any other purpose without the written consent of the architect.

5. The drawings are not to be used for any other purpose without the written consent of the architect.

6. The drawings are not to be used for any other purpose without the written consent of the architect.

7. The drawings are not to be used for any other purpose without the written consent of the architect.

8. The drawings are not to be used for any other purpose without the written consent of the architect.

9. The drawings are not to be used for any other purpose without the written consent of the architect.

10. The drawings are not to be used for any other purpose without the written consent of the architect.

AD. 41. HALL WALL SW

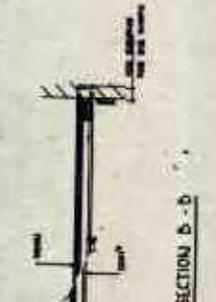
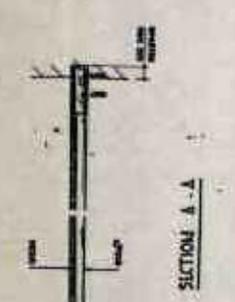
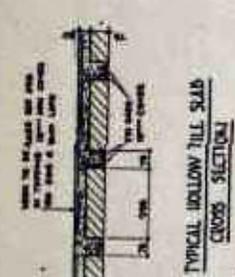
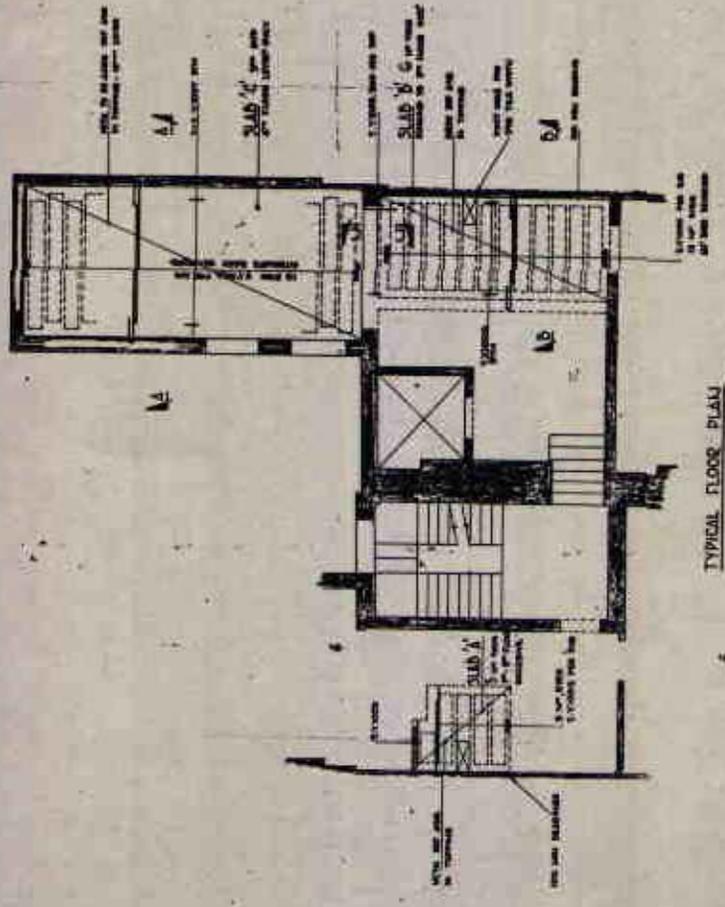
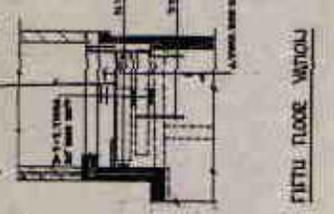
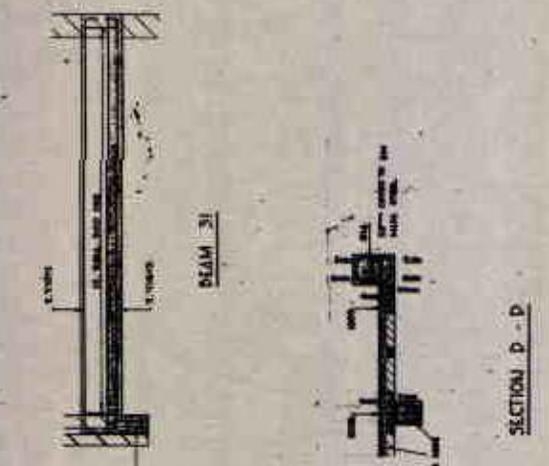
GENERAL ARRANGEMENT
PROPOSED STRUCTURAL
ALTERATIONS (PART)

E.W. Smithson, Esq. M.S.A.
Structural Engineer
27, South Street,
Barnet, London, N4 3AF

100

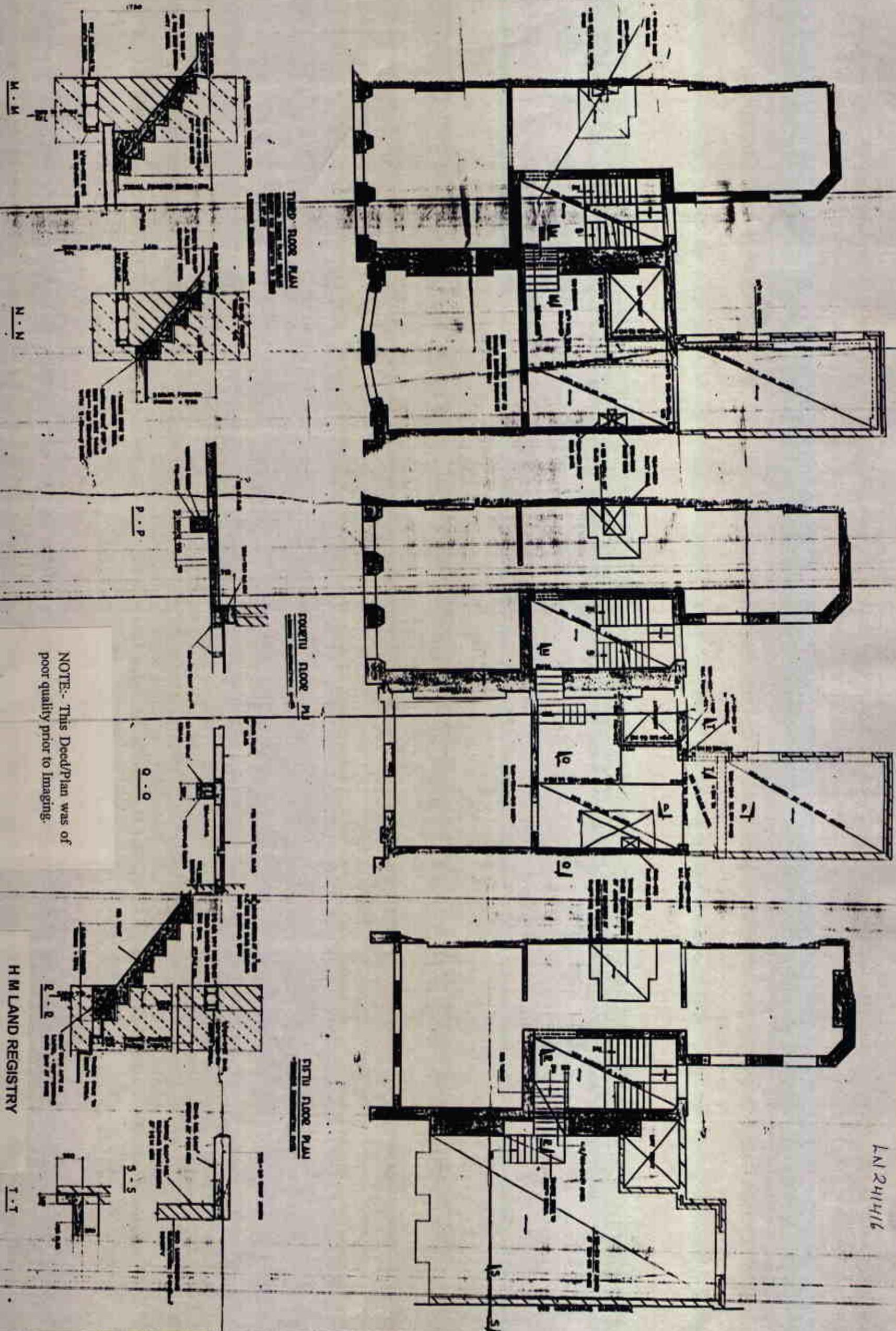
LN 241416

<p>NOTES</p> <p>1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS.</p> <p>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.</p> <p>3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER.</p> <p>4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.</p> <p>5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.</p> <p>7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BRITISH STANDARDS INSTITUTION (BSI) STANDARDS.</p> <p>8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITY.</p> <p>9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.</p>	<p>40-41, PALL MALL</p>	<p>EC DETAILS OF SLABS AND LIFT PIT</p>	<p>R.M. Smeaton Clerg, 111 Strand, London, W.C.2</p> <p>37, St. John's Street, South, Derbyshire, East</p>	<p>David A. Lyons, A.S. M.C.S. 1, Bellhouse Cottage, Colwyn Lanes, Llangynidr, Monmouthshire</p>	<p>153/5</p>								
--	-------------------------	---	--	--	--------------	--------------	--------------	--------------	--------------	--------------	--------------	--------------	--------------



NOTE:- No colour references appeared on the filed copy of this plan.

Reduced
 H.P. LAND RECOVERY
 1111, No. 11, South
 1111, No. 11, South
 1111, No. 11, South



THIRD FLOOR PLAN

FOURTH FLOOR PLAN

FIFTH FLOOR PLAN

M-M

N-N

P-P

Q-Q

NOTE: This Deed/Plan was of poor quality prior to Imaging.

H M LAND REGISTRY

Title No. LN 241416
 REDUCED COPY OF PLAN
 (not to scale) to Deed
 dated 21.2.1978

LN 241416

40 - AL. HILL V	GENERAL MGR.
PROPOSED ST.	ATTENTION:
27, School Lane	
London, E.C. 4	
DATE: 21.2.1978	
BY: [Signature]	