

DATED 16 October **2023**

GREENWICH MILLENNIUM VILLAGE LIMITED

and

N FAMILY GREENWICH LTD

and

N FAMILY HOLDINGS LTD

LICENCE FOR ALTERATIONS

**relating to premises known as Nursery Block 202,
Greenwich Millennium Village, London, SE10 0BH.**

MemeryCrystal

**165 Fleet Street, London EC4A 2DY
Tel: 020 7242 5905
Ref: SS/GRE/33/9**

CONTENTS

Clause	Subject matter	Page
1.	DEFINITIONS.....	1
2.	INTERPRETATION.....	2
3.	LICENCE FOR ALTERATIONS	2
4.	OBLIGATIONS BEFORE BEGINNING THE WORKS	2
5.	OBLIGATIONS WHEN CARRYING OUT THE WORKS.....	3
6.	OBLIGATIONS ON COMPLETION OF THE WORKS	4
7.	CDM REGULATIONS	4
8.	ENERGY PERFORMANCE CERTIFICATES	4
9.	REINSTATEMENT	5
10.	REMEDYING BREACHES/INDEMNITY	5
11.	EXCLUSION OF WARRANTIES.....	5
12.	AGREEMENTS.....	6
13.	NOTICES.....	6
14.	JURISDICTION	6
15.	LEGAL EFFECT	7
	SCHEDULE	8
	THE WORKS.....	8

LICENCE FOR ALTERATIONS

DATED 16 October 2023

PARTIES

- (1) **GREENWICH MILLENNIUM VILLAGE LIMITED** (incorporated and registered in England and Wales under company registration number 03648005) whose registered office is at Countryside House, The Drive, Great Warley, Brentwood, Essex CM13 3AT (**Landlord**)
- (2) **N FAMILY GREENWICH LTD** incorporated and registered in England and Wales with company registration number 13305209 whose registered office is at 47-49 Charlotte Road, London, England, EC2A 3QT (**Tenant**)
- (3) **N FAMILY HOLDINGS LTD** (incorporated and registered in England and Wales under company registration number 11986090) whose registered offices is at 47-49 Charlotte Road, London, EC2A 3QT (**Guarantor**)

BACKGROUND:

- (A) This Licence relates to the Premises and is supplemental to the Lease.
- (B) The Landlord is the landlord under the Lease and the Tenant is the tenant under the Lease.
- (C) The Landlord has agreed to permit the Tenant to carry out alterations to the Premises on the terms of this Licence.
- (D) In the Lease the Guarantor entered into guarantee and other covenants in respect of the tenant covenants of the Lease.

IT IS AGREED AS FOLLOWS:

1. DEFINITIONS

This Licence uses the following definitions:

Building: the Building defined in the Lease;

CDM Regulations: the Construction (Design and Management) Regulations 2015 (SI 2015/51);

Consents: all necessary permissions, licences and approvals for the Works under the Planning Acts, the building and fire regulations, and any other statute, bye law or regulation of any competent authority and under any covenants or provisions affecting the Premises and as otherwise required from owners, tenants or occupiers of any adjoining or neighbouring property;

EPC: an energy performance certificate and recommendation report as defined in the Energy Performance of Buildings (England and Wales) Regulations 2012;

Insured Risks: the Insured Risks defined in the Lease;

Lease: a lease dated 16 October 2023 between (1) the Landlord, (2) the Tenant and (3) the Guarantor and any document supplemental to it;

Plans: the plans, drawings, specifications or other documents setting out details of the Works attached to this Licence;

Premises: the property let by the Lease known as Nursery Block 202, Greenwich Millennium Village, London, SE10 0BH;

Tenant's Obligations: the obligations in the Lease that the Tenant must comply with; and

Works: the works to the Premises to be carried out by the Tenant briefly described in the **Schedule**.

2. **INTERPRETATION**

In this Licence:

- 2.1 where appropriate, the singular includes the plural and vice versa, and one gender includes any other;
- 2.2 obligations owed by or to more than one person are owed by or to them jointly and severally;
- 2.3 an obligation to do something includes an obligation not to waive any obligation of another person to do it;
- 2.4 an obligation not to do something includes an obligation not to permit or allow another person to do it;
- 2.5 references to the parties include references to their respective successors in title;
- 2.6 references to the Landlord having a right of approval or consent under this Licence mean a prior written approval or consent, which must not be unreasonably withheld or delayed except where this Licence specifies that the Landlord has absolute discretion;
- 2.7 where a party to this Licence must pay any costs that the Landlord incurs (or any proportion of them), those costs must be reasonable and proper (unless those costs are incurred following a breach of this Licence) and reasonably and properly incurred;
- 2.8 references to the provision of plans, drawings, specifications or other documents means their provision in hard copy, electronically in PDF format or in any other easily readable format as may be appropriate having regard to the purpose for which they are provided and the nature of the information that they contain, but not in a format that is proprietary to a particular computer system or program that cannot be imported into or easily read by another computer system or program; and
- 2.9 if any provision is held to be illegal, invalid or unenforceable, the legality, validity and enforceability of the remainder of this Licence will be unaffected.

3. **LICENCE FOR ALTERATIONS**

The Landlord permits the Tenant to carry out the Works on the terms of this Licence.

4. **OBLIGATIONS BEFORE BEGINNING THE WORKS**

- 4.1 Before starting the Works the Tenant must:
 - 4.1.1 obtain and provide the Landlord with copies of any Consents that are required before they are begun and, where required by the terms of the Lease, obtain the Landlord's approval to them;
 - 4.1.2 fulfil any conditions in the Consents required to be fulfilled before they are begun;
 - 4.1.3 assume liability for and pay any community infrastructure levy payable in respect of the Works pursuant to section 206 Planning Act 2008 and not withdraw or assign that assumption of liability;
 - 4.1.4 notify the Landlord of the date on which the Tenant intends to start the Works; and

- 4.1.5 provide the Landlord with any information relating to the Works as may be required by its insurers and pay any additional insurance premium payable due to the carrying out of the Works.
 - 4.2 If any variations to the Plans are required in order to obtain any of the Consents, the Tenant must obtain the approval of the Landlord to those variations such approval not to be unreasonably withheld.
 - 4.3 The Tenant must ensure that it or its building contractor has put in place public liability and employer's liability insurance of at least £5 million in respect of each claim and provide the Landlord with a summary of the main terms of the insurance policies and evidence that the premiums have been paid before starting the Works
- 5. OBLIGATIONS WHEN CARRYING OUT THE WORKS**
- 5.1 If it starts the Works, the Tenant must carry out and complete them:
 - 5.1.1 diligently and without interruption, and in any event within six months after the date of this Licence;
 - 5.1.2 in accordance with the Plans;
 - 5.1.3 in a good and workmanlike manner and with good quality materials;
 - 5.1.4 in accordance with the reasonable principles, standards and guidelines set out in any relevant guide or handbook published by the Landlord at the date of this Licence for tenant's works carried out at the Building;
 - 5.1.5 in compliance with the Consents and all Acts of Parliament (and any delegated legislation made under them) and with the requirements of the insurers of the Premises and (where applicable) of any competent authority or utility provider;
 - 5.1.6 with as little interference as reasonably practicable to the owners, tenants or occupiers of any adjoining or neighbouring property (whether from noise, vibration, emission of smoke, smells or fumes or otherwise) and must comply with the reasonable requirements of the Landlord to abate any such interference;
 - 5.1.7 in compliance, to the extent applicable, with the CDM Regulations; and
 - 5.1.8 to the reasonable satisfaction of the Landlord's surveyors.
 - 5.2 The Tenant must ensure that all proper and sufficient precautions are taken so as not at any time to damage or render unsafe the structure of the Building and/or any adjoining or neighbouring property.
 - 5.3 The Tenant must make good immediately any physical damage caused by the carrying out of the Works to the reasonable satisfaction of the Landlord.
 - 5.4 The Tenant must permit the Landlord to inspect the progress of the Works at all reasonable times on reasonable prior notice to the Tenant subject to the Landlord complying with any conditions relating to entry onto the Premises contained in the Lease.
 - 5.5 All plant, equipment and materials used in connection with the Works must be stored securely.
 - 5.6 Until practical completion of the Works (or, in the case of clause 5.6.1, until such time (if later) that the Tenant notifies the Landlord's insurers of the reinstatement cost of the Works and the Landlord's insurers confirm that the Works are covered by the Landlord's buildings insurance policy), the Tenant must:

- 5.6.1 insure the Works and any plant, equipment and loose materials for their full reinstatement cost (including professional fees) against loss or damage by the Insured Risks with reputable insurers and provide the Landlord with a summary of the main terms of the insurance policy and evidence that the premium has been paid; and
- 5.6.2 reinstate any of the Works that are damaged or destroyed before their completion.

6. OBLIGATIONS ON COMPLETION OF THE WORKS

- 6.1 On completion of the Works the Tenant must:
 - 6.1.1 notify the Landlord of their completion;
 - 6.1.2 obtain any Consents that are required on their completion and provide a copy of the same to the Landlord within 10 days of receipt;
 - 6.1.3 remove all debris and equipment used in carrying out the Works;
 - 6.1.4 notify the Landlord of the cost of the Works;
 - 6.1.5 permit the Landlord to inspect the completed Works at a reasonable time subject to the Landlord complying with any conditions relating to entry onto the Premises contained in the Lease;
 - 6.1.6 supply the Landlord with two complete sets of as-built plans showing the Works; and
 - 6.1.7 ensure that the Landlord is able to use and reproduce the plans, free of charge, for any lawful purpose in relation to the Premises and the Building.
- 6.2 The Tenant must pay to the Landlord as rent under the Lease any increased insurance premium payable resulting from the carrying out and retention of the Works on the Premises.

7. CDM REGULATIONS

- 7.1 If the CDM Regulations apply to the Works, the Tenant must:
 - 7.1.1 comply with them and ensure that any person involved in the management, design and construction of the Works complies with their respective obligations under the CDM Regulations;
 - 7.1.2 agree to be treated as the only client for the purposes of the CDM Regulations in respect of the Works; and
 - 7.1.3 on completion of the Works provide the Landlord with a copy of any health and safety file relating to the Works and deliver the original file to the Landlord at the end of the term of the Lease.

8. ENERGY PERFORMANCE CERTIFICATES

- 8.1 If the Works invalidate or materially adversely affect an existing EPC or require the commissioning of an EPC, the Tenant must (at the Landlord's option):
 - 8.1.1 obtain an EPC from an assessor approved by the Landlord and give the Landlord written details of the unique reference number for that EPC; or
 - 8.1.2 pay the Landlord's costs of obtaining an EPC.

9. **REINSTATEMENT**

The reinstatement provisions in the Lease will apply to reinstatement of the Works.

10. **REMEDYING BREACHES/INDEMNITY**

10.1 If the Landlord requires the Tenant to remedy any breach of the Tenant's obligations under this Licence then the Tenant must comply with those requirements immediately in the case of an emergency or, in all other cases, begin to comply with those requirements within one month after being notified of them and diligently complete any works required.

10.2 If the Tenant does not comply with **clause 10.1**, the Landlord may enter the Premises with contractors, plant, machinery and equipment and carry out any works required itself. The Tenant must repay, as a debt on demand, all the costs the Landlord incurs in so doing. The Landlord's rights under the Lease will be unaffected.

10.3 The Tenant shall indemnify the Landlord from and against all actions, costs, claims, losses, demands, damages, taxes and liabilities whatsoever arising directly or indirectly out of or resulting from:

10.3.1 the carrying out of the Works or any part thereof; or

10.3.2 any breach of or non-compliance with any of the terms of this Licence.

11. **THE GUARANTOR**

11.1 The Guarantor consents to the Tenant entering into this licence.

11.2 The consent granted by this licence is granted at the request of the Guarantor. In consideration of the consent granted by the Landlord, and subject to clause 11.4, the Guarantor agrees that its guarantee and other obligations under the Lease shall remain fully effective and:

11.2.1 to the extent that any provision of this Licence varies the terms of the Lease, shall apply to the Lease as varied; and

11.2.2 subject to clause 11.2.1 shall not be released or diminished by any provision of this Licence.

11.3 In further consideration of the consent granted by the Landlord, and subject to clause 11.4, the Guarantor agrees that its guarantee and other obligations under the Lease shall extend and apply to the covenants given by, and the obligations on the part of, the Tenant under this Licence.

11.4 Nothing in this licence shall prevent or limit the operation of section 18 of the Landlord and Tenant (Covenants) Act 1995.

12. **EXCLUSION OF WARRANTIES**

12.1 The Landlord gives no express or implied warranty (and the Tenant acknowledges that the Tenant must satisfy itself):

12.1.1 as to the suitability, safety, adequacy or quality of the design or method of construction of the Works;

12.1.2 that the Works may lawfully be carried out;

12.1.3 that the structure or fabric of the Premises and the Building is able to accommodate the Works; and

12.1.4 that any of the services supplying the Premises will either have sufficient capacity for or otherwise not be adversely affected by the Works.

13. **AGREEMENTS**

13.1 Nothing in this Licence will:

13.1.1 be deemed to authorise any action other than expressly authorised in **clause 3**;

13.1.2 release or reduce any liability to the Landlord of the Tenant or the Guarantor (or any guarantor) or other party to the Lease; or

13.1.3 waive or be deemed to waive any breach of the Tenant's Obligations that may have occurred before the date of this Licence.

13.2 The conditions for re-entry contained in the Lease will be exercisable on any breach of any provision in this Licence in the same way as if it were a provision contained in the Lease.

13.3 All sums payable by the Tenant under this Licence will be recoverable as rent in arrear in accordance with the Lease.

13.4 The Tenant's Obligations will extend to the Works and will apply to the Premises as altered by the Works as they now apply to the Premises as let by the Lease.

13.5 The Tenant acknowledges that:

13.5.1 it has not served (and will not serve) any notice under the Landlord and Tenant Act 1927 that would make the Works improvements for the purposes of that Act;

13.5.2 neither this Licence nor any correspondence relating to the Works constitutes a notice for the purposes of that Act;

13.5.3 the Works are being carried out by the Tenant to suit its own requirements; and

13.5.4 as a result, the Tenant is not entitled to compensation in respect of the Works whether under the Landlord and Tenant Act 1927 or otherwise.

13.6 Nothing in this Licence creates any rights benefiting any person under the Contracts (Rights of Third Parties) Act 1999.

14. **NOTICES**

Any notices to be served under this Licence will be validly served if served in accordance with the notice provisions in the Lease.

15. **JURISDICTION**

15.1 This Licence and any non-contractual obligations arising out of or in connection with it will be governed by the law of England and Wales.

15.2 Subject to **clause 15.3**, the courts of England and Wales have exclusive jurisdiction to determine any dispute arising out of or in connection with this Licence, including in relation to any non-contractual obligations.

15.3 Any party may seek to enforce an order of the courts of England and Wales arising out of or in connection with this Licence, including in relation to any non-contractual obligations, in any court of competent jurisdiction.

16. **LEGAL EFFECT**

This Licence takes effect and binds the parties with effect from the date set out at the beginning of this Licence.

SCHEDULE

The Works

The fit out works being carried out by the Tenant to the Premises in accordance with the plans and specification attached.

EXECUTED as a **DEED** by the)
Landlord acting by)
Chris Bladon)

a director and
James Lidgate
a director/secretary

DocuSigned by:
Chris Bladon
BAA47777F2034D0...
Director

DocuSigned by:
James Lidgate
4499007AFA75458...
Director/secretary

EXECUTED as a **DEED** by the)
Tenant acting by a director in the)
presence of:)

Director

Signature of Witness:

Name of Witness:

Address of Witness:
.....

EXECUTED as a **DEED** by the)
Guarantor acting by a director in)
the presence of:)

Director

Signature of Witness:

Name of Witness:

Address of Witness:
.....



NOTES

ORIGINAL A2

DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.
COPYRIGHT PROTECTED.

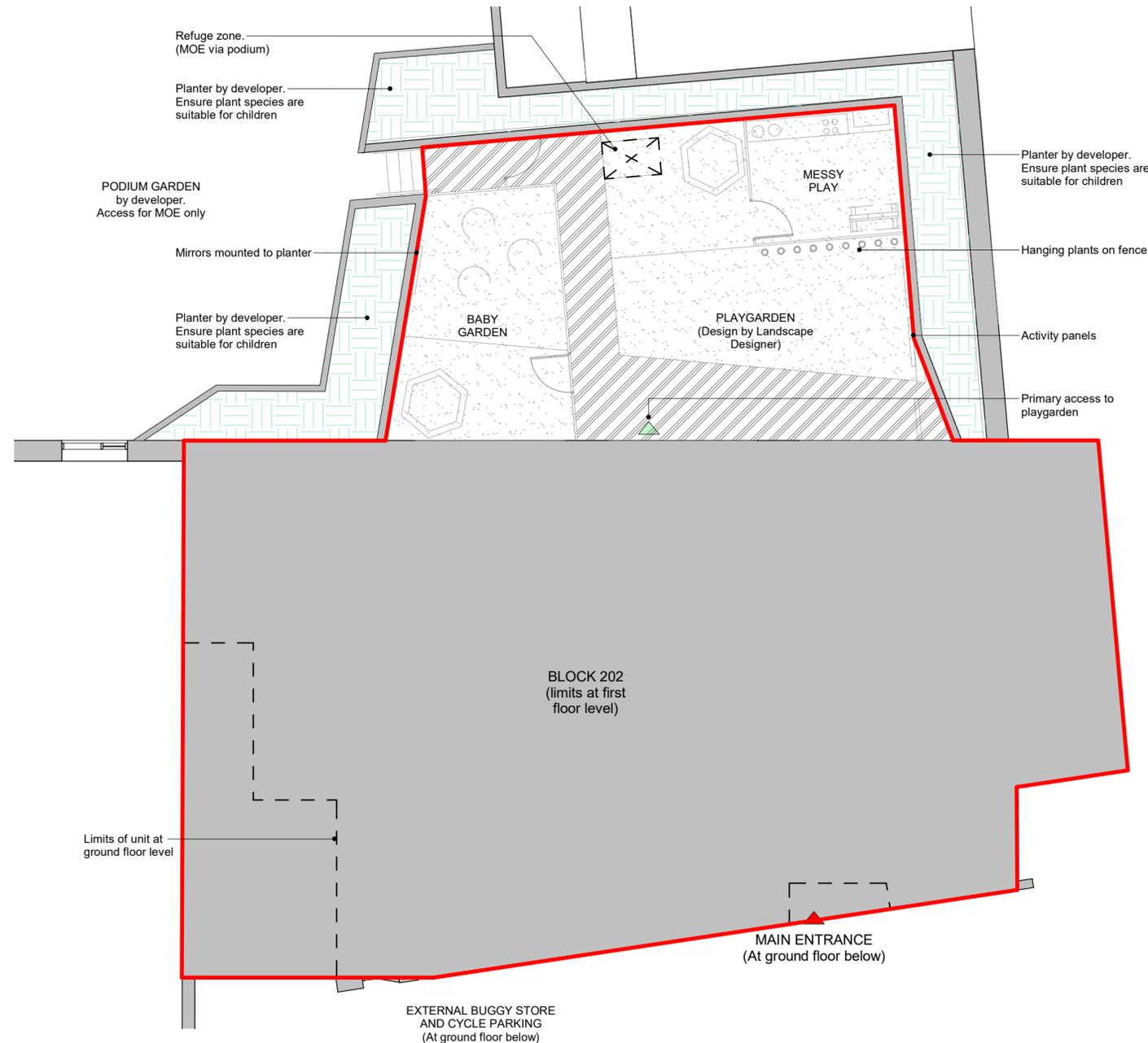
TENDER

I = Information, T = Tender, C = Construction, R = Record

KEY

SITE BOUNDARY

REV	DATE	DESCRIPTION	DRAWN	CHKD



1 SITE PLAN
101 1 : 100



NURSERY LOCATION
GREENWICH MV
COUNTRY
ENGLAND

PROJECT
**N FAMILY CLUB
NEW NURSERY**

DRAWING
PROPOSED SITE PLAN

CONSULTANT
LEWIS AND HICKEY
DISCIPLINE DESCRIPTION
ARCHITECTURE

CONSULTANT LOGO

18 Farnham Road
Guildford
Surrey
GU1 4XA

Tel: 01483 560908
Fax: 01483 560660
Email: guildford@lewishickey.com

SCALE	PAPER SIZE	DATE	DRAWN	CHECKED
As indicated	A2	07.08.23	TC	JFM

PROJECT No.	DISCIPLINE CODE	DRAWING No.
GMV001	A	101

CONSULTANT PROJECT No.	STATUS	REVISION
G4752	T	

DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.
COPYRIGHT PROTECTED.

TENDER

NOTE:
INFORMATION BASED ON RECORD DRAWINGS PROVIDED BY OTHERS. SUBJECT TO SITE SURVEY. ARCHITECT TO BE IMMEDIATELY ADVISED OF ANY DISCREPANCIES.

REV	DATE	DESCRIPTION	DRAWN	CHKD
04	29.08.23	Issued for Tender	TC	JFM
03	25.08.23	Playroom areas updated, minor adjustment to wall positions, kitchenette relocated and occupancy updated in PR04, to suit Client comments	TC	JFM
02	24.08.23	Updated to Client and M&E comments	TC	JFM
01	09.08.23	Playroom 01 WC updated. Reception area reconfigured, services cupboard added. Door into indoor cycle area shown	TC	JFM



NURSERY LOCATION
GREENWICH MV
COUNTRY
ENGLAND

PROJECT
**N FAMILY CLUB
NEW NURSERY**

DRAWING
**PROPOSED ALL FLOORS
GENERAL ARRANGEMENT
PLAN**

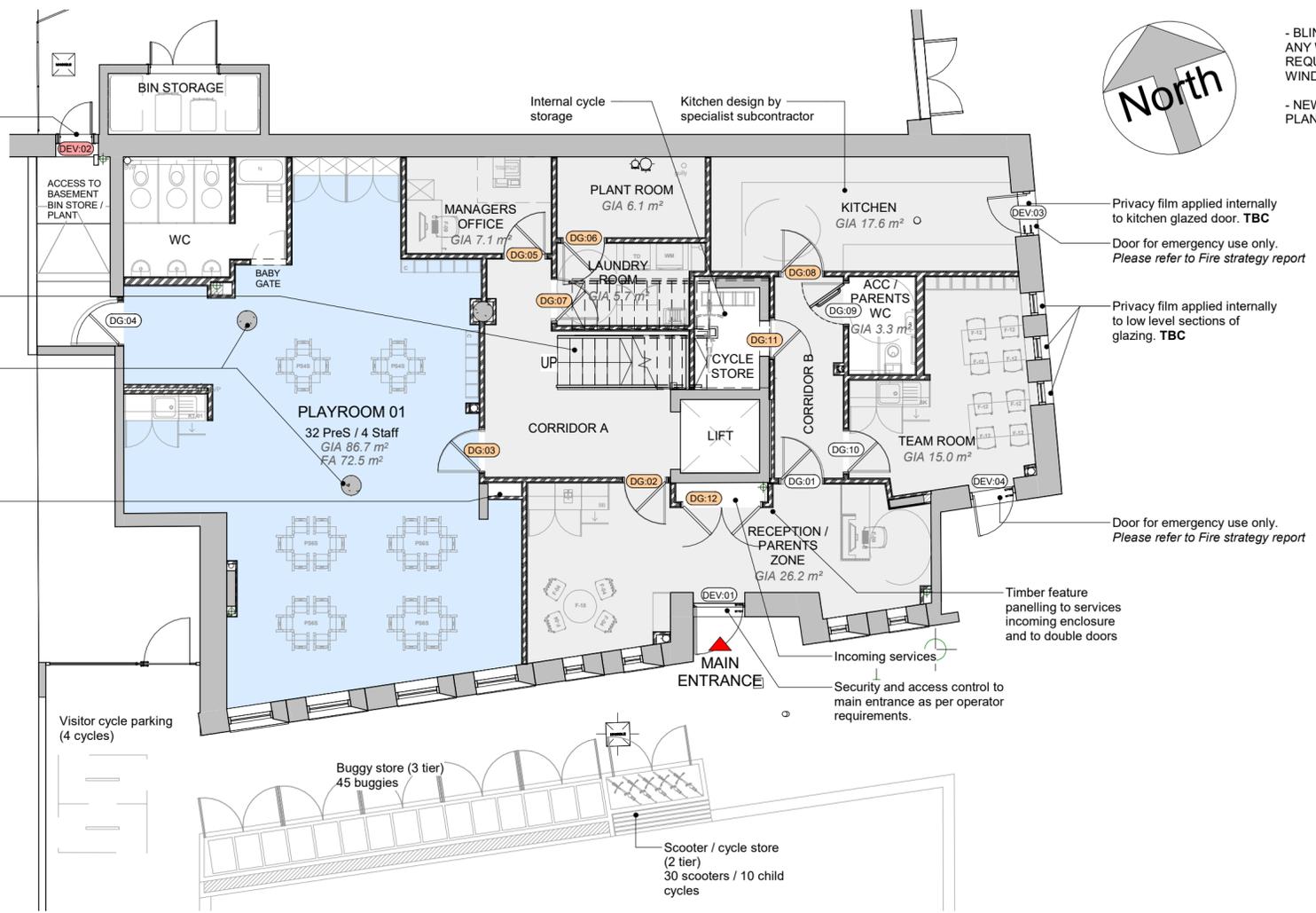
CONSULTANT
LEWIS AND HICKEY
DISCIPLINE DESCRIPTION
ARCHITECTURE

CONSULTANT LOGO
L&H
18 Farnham Road
Guildford
Surrey
GU1 4XA
Tel: 01483 560908
Fax: 01483 560660
Email: guildford@lewis-hickey.com

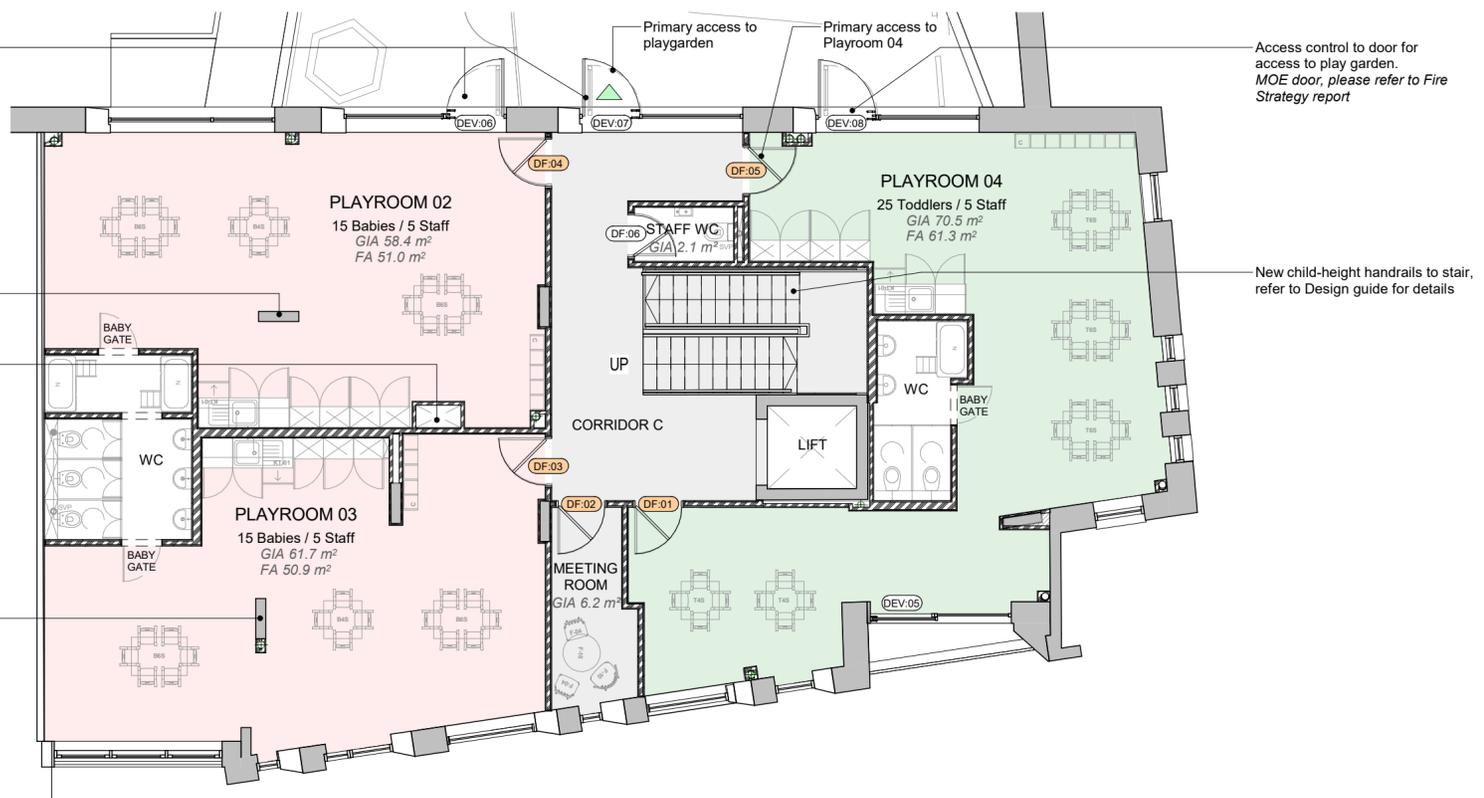
SCALE	PAPER SIZE	DATE	DRAWN	CHECKED
As indicated	A2	21.07.23	TC	JFM

PROJECT No.	DISCIPLINE CODE	DRAWING No.
GMV001	A	131

CONSULTANT PROJECT No.	STATUS	REVISION
G4752	T	04



1
131
PROPOSED GROUND FLOOR GA
1 : 100



2
131
PROPOSED FIRST FLOOR GA
1 : 100

OCCUPANCY

ROOM	CHILD No.	STAFF No.
Babies	30	10
Toddlers	25	5
PreS	32	4
Specialist	0	0
Admin	0	5
TOTAL:	87	24

KEY TO DOORS

DXxx	NO FIRE RATING
DXxx	30 min. FIRE RATING
DXxx	60 min. FIRE RATING
DEV	DOOR BY DEVELOPER

ROOM ITEMS

C	CUBBY HOLE JOINERY
S	FULL HEIGHT STORAGE
N	NAPPY CHANGE UNIT
WS	CHILD'S WATER STATION
K	KITCHENETTE
WM	WASHING MACHINE
TD	TUMBLE DRYER
AC	AIR CONDITIONING UNIT
AP	AIR PURIFICATION UNIT
HT	HEATER
R	RADIATOR
H	CHILD HEIGHT HANDRAIL
B	BLIND

DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.
COPYRIGHT PROTECTED.

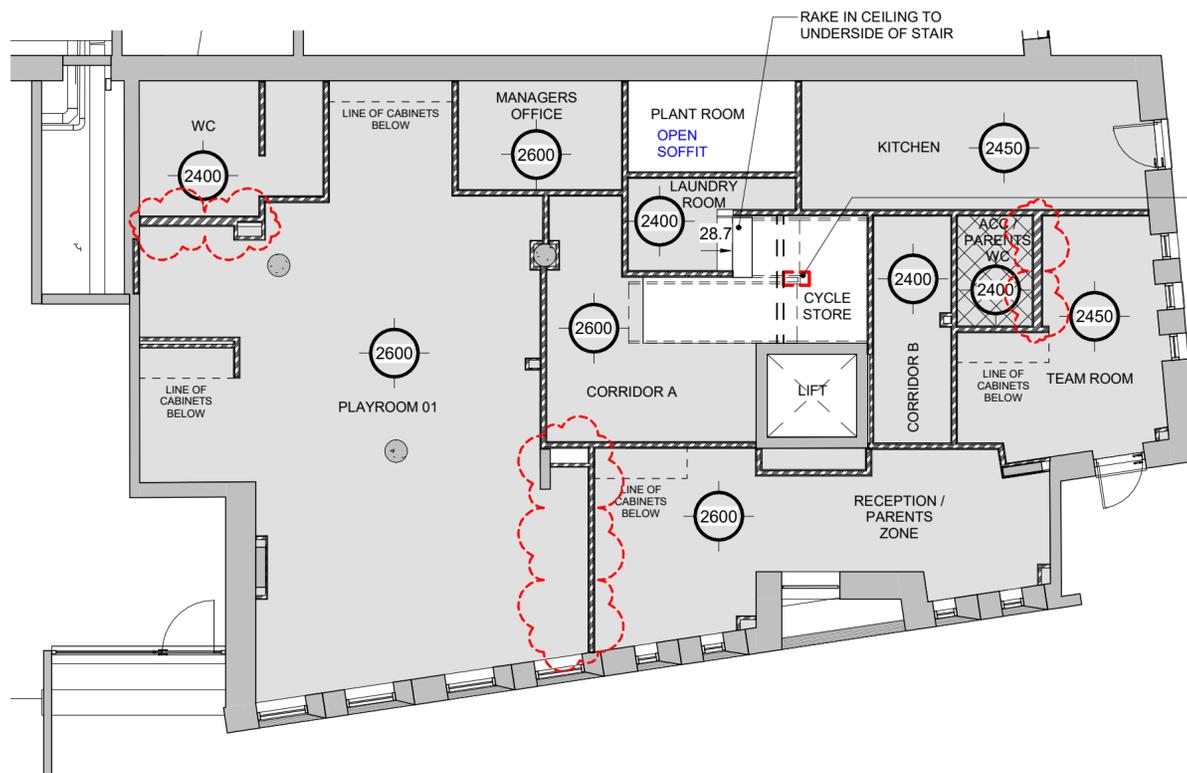


TENDER

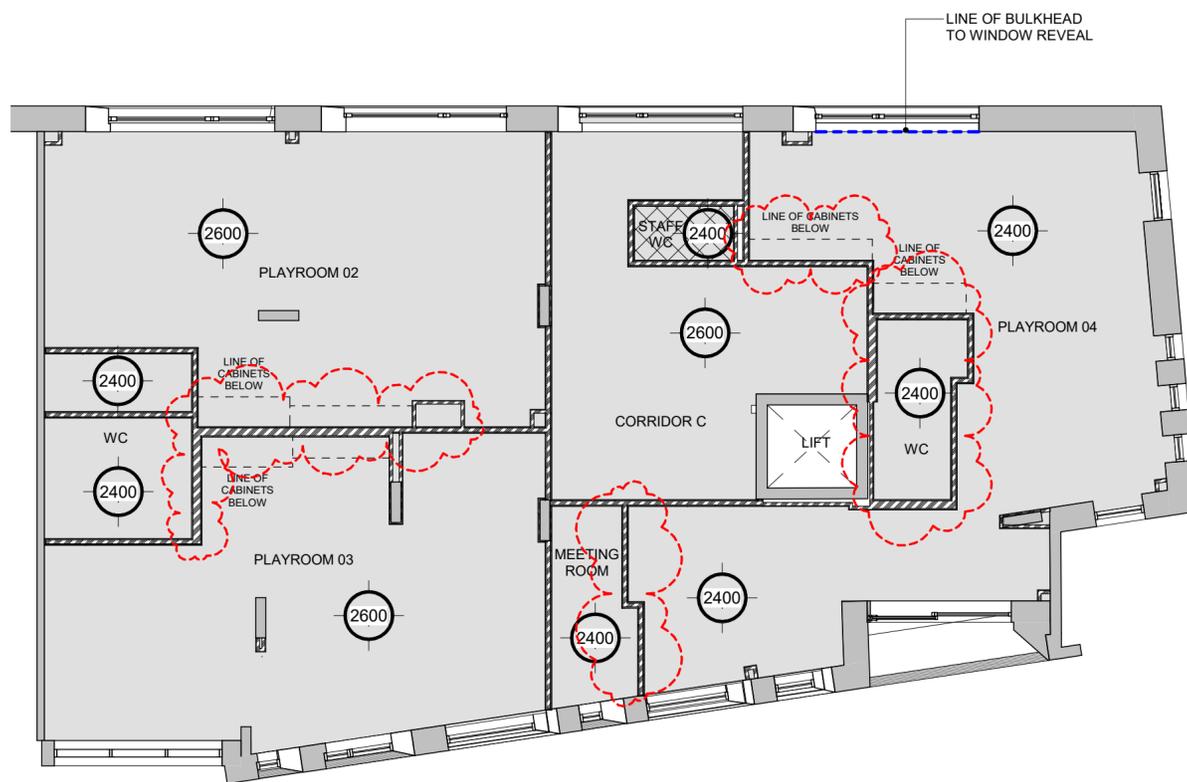
I = Information, T = Tender, C = Construction, R = Record

NOTE:

INFORMATION BASED ON RECORD DRAWINGS PROVIDED BY OTHERS. SUBJECT TO SITE SURVEY. ARCHITECT TO BE IMMEDIATELY ADVISED OF ANY DISCREPANCIES.



1 PROPOSED GROUND FLOOR RCP
141 1 : 100



2 PROPOSED FIRST FLOOR RCP
141 1 : 100

NOTE: EXISTING STRUCTURAL SOFFIT LEVEL TO ALL FLOORS TO BE VERIFIED ON SITE.

CEILING LEGEND	
	EXPOSED SOFFIT TO REMAIN. ALLOWANCE TO BE MADE FOR SPRAYING SOFFIT. FINISH REF: WHITE. (PENDING REVIEW OF SOFFIT CONDITION)
	PLASTERBOARD CEILING ON CONCEALED M.F. SYSTEM. 1 LAYER 12.5mm WALLBOARD. PLASTERBOARD TO BE PAINTED WITH 1no. UNDERCOAT & 2no. FULL COATS DULUX TRADE ECOSURE. COLOUR: BRILLIANT WHITE, RAL 9016
	PLASTERBOARD CEILING AS ABOVE WITH 100 ISOVER INSULATION LAID OVER CEILING AS ACOUSTIC BARRIER
	LINE OF BULKHEAD
	INDICATES HEIGHT OF CEILING

REV	DATE	DESCRIPTION	DRAWN	CHKD
02	29.08.23	Updated to suit latest GA revisions. Issued for Tender	TC	JFM
01	09.08.23	Updated to latest GA. Ceiling heights lowered to rooms to suit M&E comments	TC	JFM



NURSERY LOCATION
GREENWICH MV
COUNTRY
ENGLAND

PROJECT
**N FAMILY CLUB
NEW NURSERY**

DRAWING
**PROPOSED ALL FLOORS
RCP**

CONSULTANT
LEWIS AND HICKEY
DISCIPLINE DESCRIPTION
ARCHITECTURE

CONSULTANT LOGO



18 Farnham Road
Guildford
Surrey
GU1 4XA
Tel: 01483 560908
Fax: 01483 560660
Email: guildford@lewisickey.com

SCALE	PAPER SIZE	DATE	DRAWN	CHECKED
As indicated	A2	01.08.23	TC	JFM

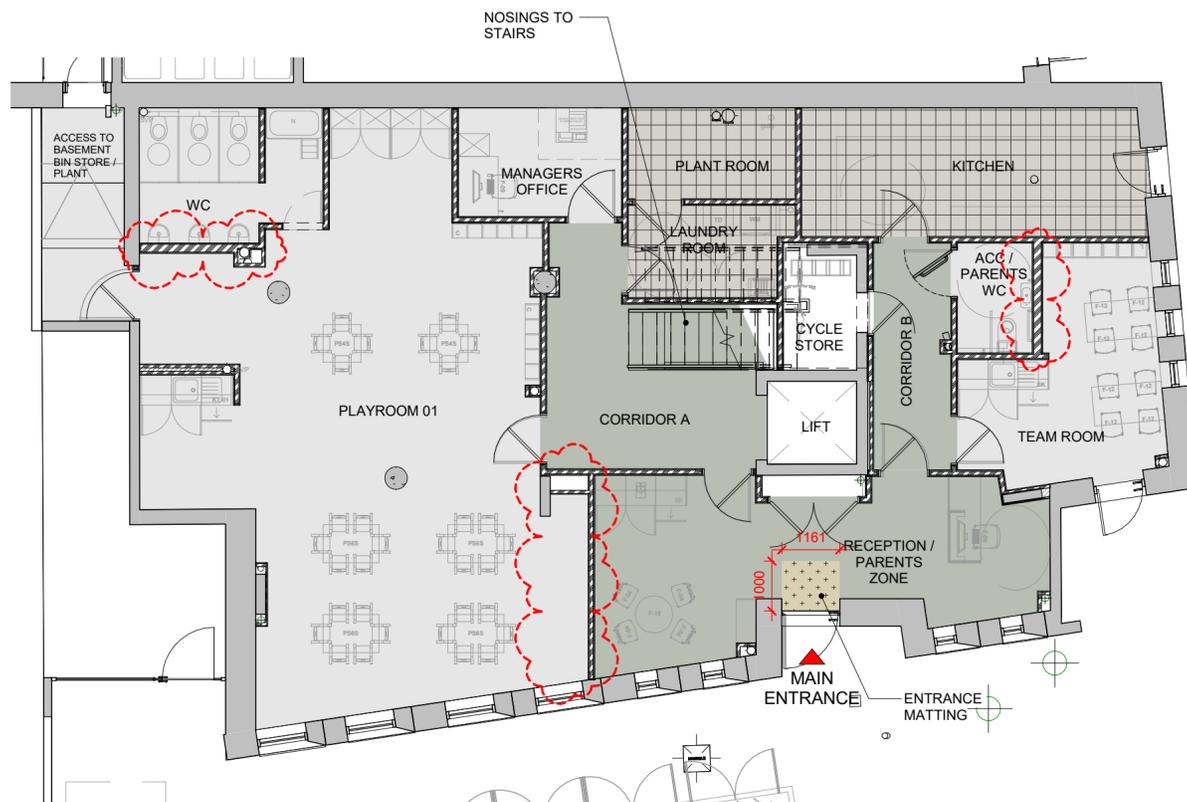
PROJECT No.	DISCIPLINE CODE	DRAWING No.
GMV001	A	141

CONSULTANT PROJECT No.	STATUS	REVISION
G4752	T	02

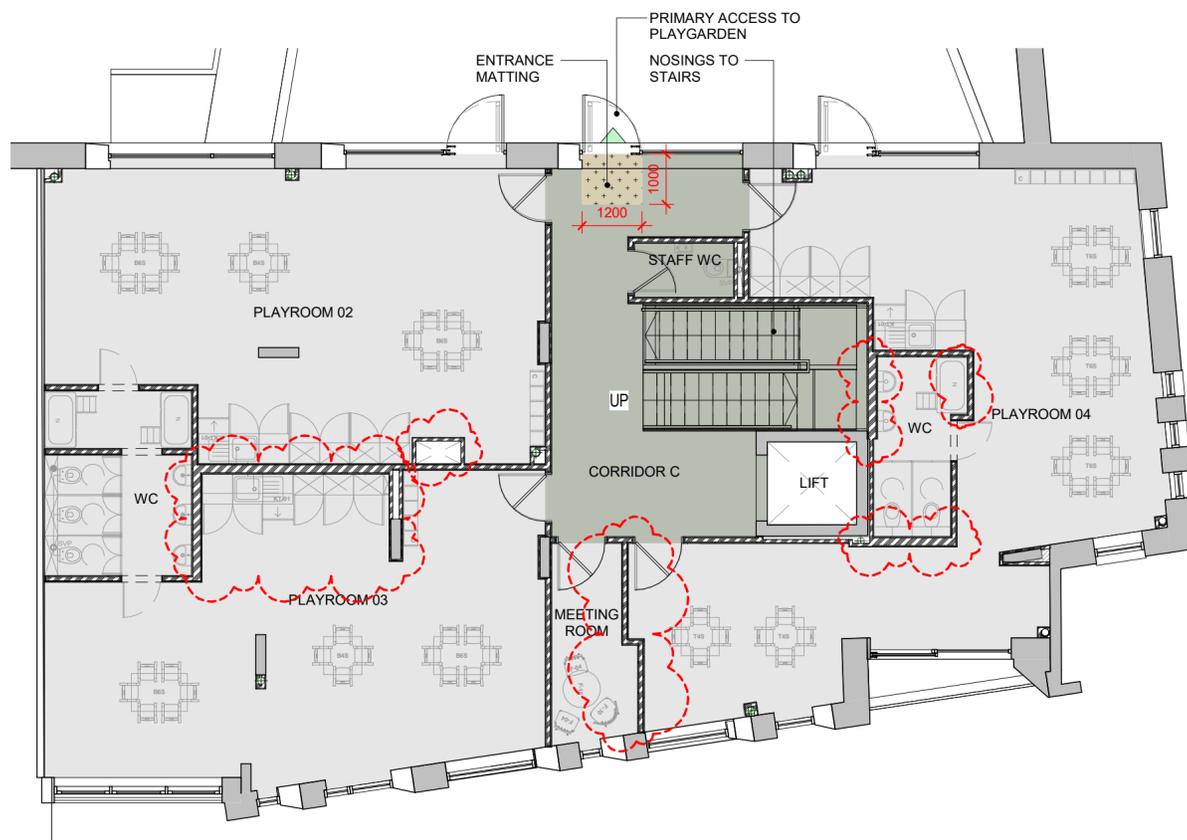
DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.
COPYRIGHT PROTECTED.

TENDER

I = Information, T = Tender, C = Construction, R = Record



1 PROPOSED GROUND FLOOR FLOOR FINISHES
161 1 : 100



2 PROPOSED FIRST FLOOR FLOOR FINISHES
161 1 : 100

NOSINGS:
All stair treads to receive nosings. Profile / shape of nosing to be selected based on the existing stair tread type / shape.

Supplier: Gradus

Where floor finish to stair is FF01 (Grey) use:
Channel: Wisp (LRV 58.7)
Nosing Insert: Ink (LRV 4.96)

Where floor finish to stair is FF02 (Olive) use:
Channel: Wisp (LRV 58.7)
Nosing Insert: Wisp (LRV 58.7)

NOTES:
All walls to receive 150mm high timber skirting painted white unless noted otherwise. Refer to room elevation drawings.

Movement joints in vinyl finishes TBC on site. Colour & spec to be agreed with N Family prior to installation.
All floor surfaces to be adhered in accordance with manufacturer's instructions and specifications. Requirement for DPM & levelling to be determined on receipt of developer survey information.

FLOOR FINISHES	
	FF01 Gerflor - Taralay Impression Comfort Ref: 0832 Colour: Uni Matt Grey Rooms: Education Room, Team Room, WCs
	FF02 Gerflor - Taralay Impression Comfort Ref: 1079 Colour: Uni Matt Dark Green Rooms: Reception, Circulation, Reception adjacent rooms
	FF03 Gerflor - Taralay Impression Comfort Ref: 0844 Colour: Marine Rooms: Specialist Room
	FF04 Altro - Pisces Wet Room Ref: Porthole SB2007 Colour: Grey BOH Safety Floor
	FF05 Altro - Aquarius Wet Room Vinyl Ref: Puffin AQI2005 Colour: Light Grey Wet Room Education Area
	FF06 Heckmondwike - Entrance Matting Ref: Diamond Entrance Matt with Transition Strip Colour: Beige Rooms: Entrance and back doors.

Note: New finishes shown to FF02 and FF06



NURSERY LOCATION
GREENWICH MV
COUNTRY
ENGLAND

PROJECT
**N FAMILY CLUB
NEW NURSERY**

DRAWING
**PROPOSED ALL FLOORS
FLOOR FINISHES**

CONSULTANT
LEWIS AND HICKEY
DISCIPLINE DESCRIPTION
ARCHITECTURE

CONSULTANT LOGO



LEWIS AND HICKEY

18 Farnham Road
Guildford
Surrey
GU1 4XA

Tel: 01483 560908
Fax: 01483 560660
Email: guildford@lewishickey.com

SCALE	PAPER SIZE	DATE	DRAWN	CHECKED
1 : 100	A2	08.08.23	TC	JFM

PROJECT No.	DISCIPLINE CODE	DRAWING No.
GMV001	A	161

CONSULTANT PROJECT No.	STATUS	REVISION
G4752	T	01

DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.
COPYRIGHT PROTECTED.

TENDER

I = Information, T = Tender, C = Construction, R = Record

APPROVED

Wall finishes to be read in conjunction with NFamily procurement guide

REV	DATE	DESCRIPTION	DRAWN	CHKD
02	29.08.23	Column padding colour updated. Minor amendment to finishes in PR04. Approved by Client. Issued for Tender	TC	JFM
01	29.08.23	Datum to PR01 updated. Layout updated to suit latest GA	TC	JFM



NURSERY LOCATION
GREENWICH MV
COUNTRY
ENGLAND

PROJECT
**N FAMILY CLUB
NEW NURSERY**

DRAWING
**PROPOSED ALL FLOORS
WALL FINISHES**

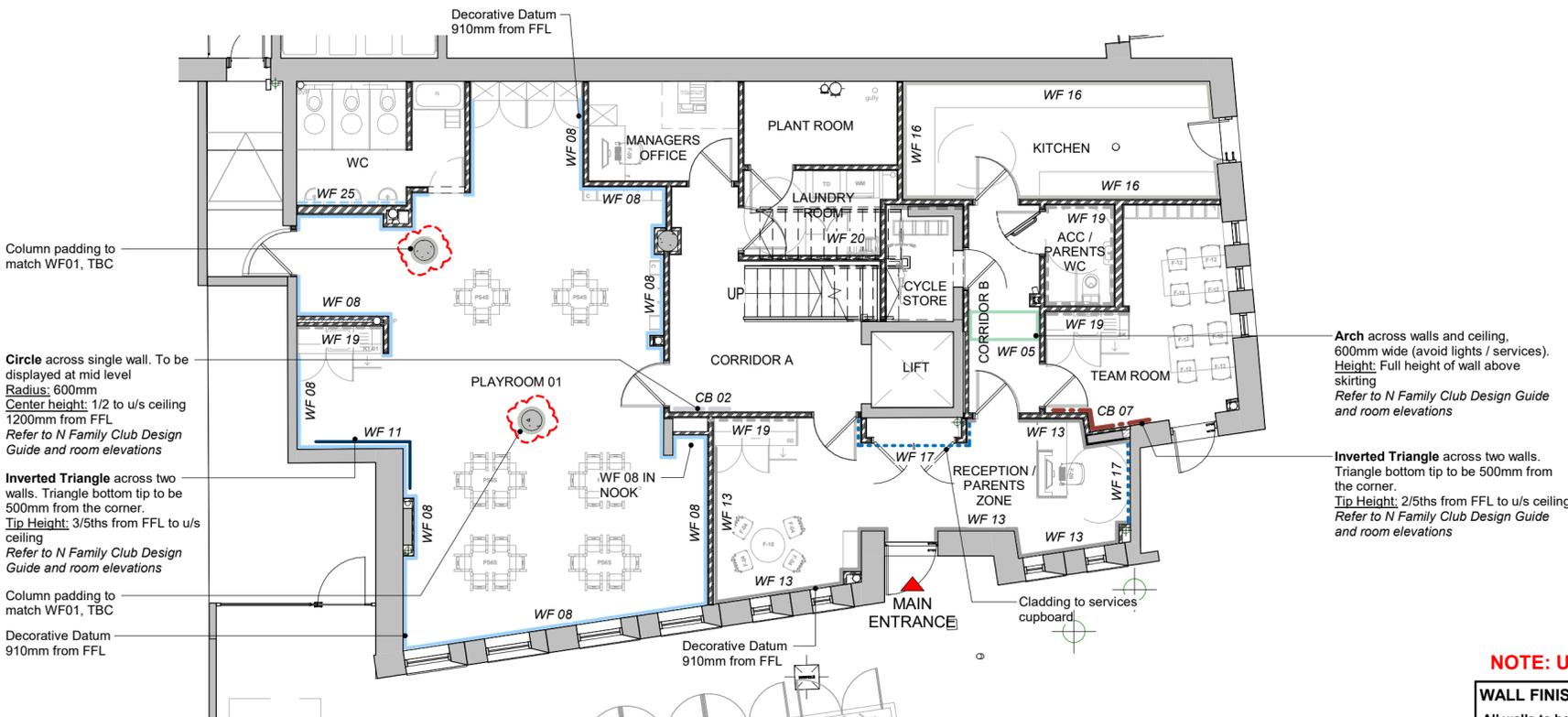
CONSULTANT
LEWIS AND HICKEY
DISCIPLINE DESCRIPTION
ARCHITECTURE

CONSULTANT LOGO
L&H
LEWIS AND HICKEY
18 Farnham Road
Guildford
Surrey
GU1 4XA
Tel: 01483 560908
Fax: 01483 560660
Email: guildford@lewis-hickey.com

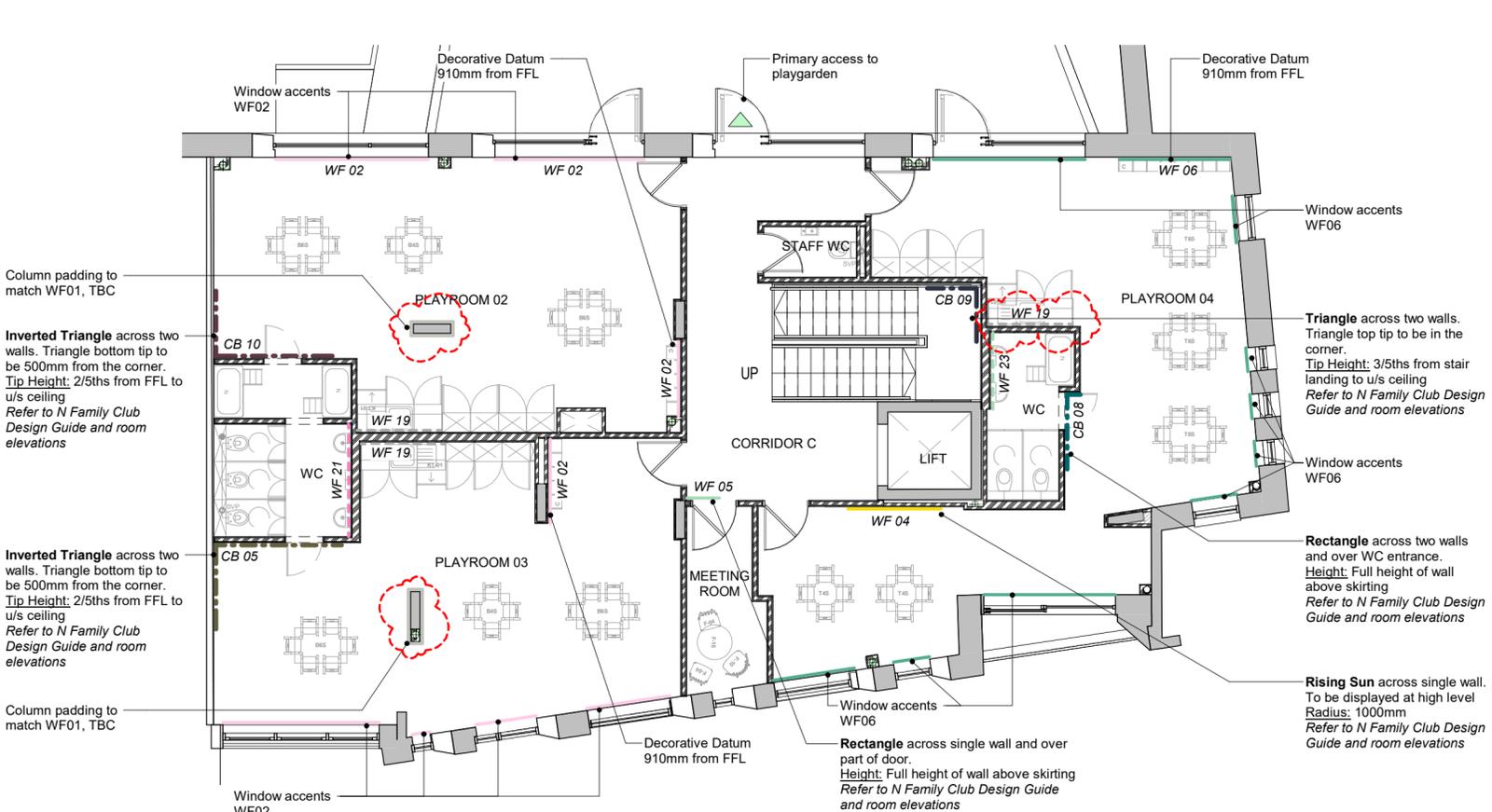
SCALE	PAPER SIZE	DATE	DRAWN	CHECKED
1 : 100	A2	08.08.23	TC	JFM

PROJECT No.	DISCIPLINE CODE	DRAWING No.
GMV001	A	163

CONSULTANT PROJECT No.	STATUS	REVISION
G4752	T	02



1 PROPOSED GROUND FLOOR WALL FINISHES
163 1 : 100



2 PROPOSED FIRST FLOOR WALL FINISHES
163 1 : 100

NOTE: UPDATED DULUX PAINT COLOUR CODES AS BELOW

WALL FINISHES KEY
All walls to be painted up to underside of ceiling in WF 01 (General wall finish).
Decorative datum taken from top of skirting to circa 910mm AFFL (to line through with kitchen worktops), location and colour as indicated on plan. Also refer to room elevation drawings.
All walls to receive 1no. coat of undercoat and 2no. full coats of Dulux Sterishield Diamond Matt paint.

<ul style="list-style-type: none"> WF 01 General Wall Finishes Paint Dulux Sterishield Diamond Matt Colour: 15719 / 50YY 73/035 WF 02 Baby 1 Wall Paint Dulux Sterishield Diamond Matt Colour: 21YR 67/074 WF 04 Baby 2 Wall Paint Dulux Sterishield Diamond Matt Colour: 54YY 71/171 WF 05 Toddler 1 Wall Paint Dulux Sterishield Diamond Matt Colour: 50GG 63/042 WF 06 Toddler 2 Wall Paint Dulux Sterishield Diamond Matt Colour: 54GG 47/053 WF 08 Pre-School 1 Wall Paint Dulux Sterishield Diamond Matt Colour: 10BB 55/065 WF 11 Pre-School 2 Wall Paint Dulux Sterishield Diamond Matt Colour: 10BB 09/155 WF 13 Reception/Circulation Datum Dulux Sterishield Diamond Matt Colour: 30GY 56/023 WF 16 Main Kitchen Laminate WhiteRock Altro Satins Code: Cesco 53 WF 17 Reception Timber Slats ISG MDF vertical slats Colour: Cobalt Blue RAL5013 10% gloss 	<ul style="list-style-type: none"> WF 19 General Tiles Mosa - Grey / 15820 010030 Grout Colour: Mapei 111 Silver Grey Dimensions: 300 x 100 x 7.8mm WF 20 General Tiles Mosa - White / 15810 010030 Grout Colour: Mapei 100 Bianco White Dimensions: 300 x 100 x 7.8mm WF 21 Baby 1 Tiles Mosa Pink / 15180 015015 Grout Colour: Mapei 141 Caramel Dimensions: 150 x 150 x 5.6mm WF 22 Baby 2 Tiles Mosa - Yellow / 15070 015015 Grout Colour: Mapei 131 Vanilla Dimensions: 150 x 150 x 5.6mm WF 23 Toddler 1 Tiles Mosa Turquoise / 15100 015015 Grout Colour: Mapei 171 Turquoise Dimensions: 150 x 150 x 5.6mm WF 24 Toddler 2 Tiles Mosa - Olive Green / 15080 015015 Grout Colour: Mapei 181 Jade Green Dimensions: 150 x 150 x 5.6mm WF 25 Pre-School 1 Tiles Mosa - Blue / 15130 015015 Grout Colour: Mapei 170 Crocus Blue Dimensions: 150 x 150 x 5.6mm WF 26 Pre-School 2 Tiles Mosa - Navy / 15120 015015 Grout Colour: Mapei 283 Sea Blue Dimensions: 150 x 150 x 5.6mm WF 27 Breakfast Bar and Parent Area Tiles British Ceramic Tile - Green / BCT14247 Grout Colour: Mapei 111 Silver Grey Dimensions: 300 x 100 x 6mm WF 28 Specialist Room Mosa - White / 15010 010010 Grout Colour: Mapei 283 Sea Blue Dimensions: 100 x 100 x 7mm
--	---

COLOUR BLOCKING KEY

<ul style="list-style-type: none"> CB 01 Colour Block Wall Paint Dulux Sterishield Diamond Matt Colour: 54GG 47/053 CB 02 Colour Block Wall Paint Dulux Sterishield Diamond Matt Colour: 30RB 50/072 CB 03 Colour Block Wall Paint Dulux Sterishield Diamond Matt Colour: 21YR 67/074 CB 04 Colour Block Wall Paint Dulux Sterishield Diamond Matt Colour: 54YY 71/171 CB 05 Colour Block Wall Paint Farrow & Ball, Matt Colour: Bancha (298) 	<ul style="list-style-type: none"> CB 06 Colour Block Wall Paint Dulux Sterishield Diamond Matt Colour: 20YY 23/525 CB 07 Colour Block Wall Paint Dulux Sterishield Diamond Matt Colour: 30YR 14/365 CB 08 Colour Block Wall Paint Dulux Sterishield Diamond Matt Colour: 10BG 13/156 CB 09 Colour Block Wall Paint Farrow & Ball, Matt Colour: Railings (31) CB 10 Colour Block Wall Paint Farrow & Ball, Matt Colour: Brinjal (222)
--	--

NOTE: All Farrow & Ball paint references to be matched to closest Dulux colour reference in store

Arch across walls and ceiling.
600mm wide (avoid lights / services).
Height: Full height of wall above skirting
Refer to N Family Club Design Guide and room elevations

Inverted Triangle across two walls.
Triangle bottom tip to be 500mm from the corner.
Tip Height: 2/5ths from FFL to u/s ceiling
Refer to N Family Club Design Guide and room elevations

Triangle across two walls.
Triangle top tip to be in the corner.
Tip Height: 3/5ths from stair landing to u/s ceiling
Refer to N Family Club Design Guide and room elevations

Rectangle across two walls and over WC entrance.
Height: Full height of wall above skirting
Refer to N Family Club Design Guide and room elevations

Rising Sun across single wall.
To be displayed at high level
Radius: 1000mm
Refer to N Family Club Design Guide and room elevations

Column padding to match WF01, TBC

Circle across single wall. To be displayed at mid level
Radius: 600mm
Center height: 1/2 to u/s ceiling
1200mm from FFL
Refer to N Family Club Design Guide and room elevations

Inverted Triangle across two walls. Triangle bottom tip to be 500mm from the corner.
Tip Height: 3/5ths from FFL to u/s ceiling
Refer to N Family Club Design Guide and room elevations

Column padding to match WF01, TBC

Decorative Datum 910mm from FFL

Column padding to match WF01, TBC

Inverted Triangle across two walls. Triangle bottom tip to be 500mm from the corner.
Tip Height: 2/5ths from FFL to u/s ceiling
Refer to N Family Club Design Guide and room elevations

Inverted Triangle across two walls. Triangle bottom tip to be 500mm from the corner.
Tip Height: 2/5ths from FFL to u/s ceiling
Refer to N Family Club Design Guide and room elevations

Column padding to match WF01, TBC

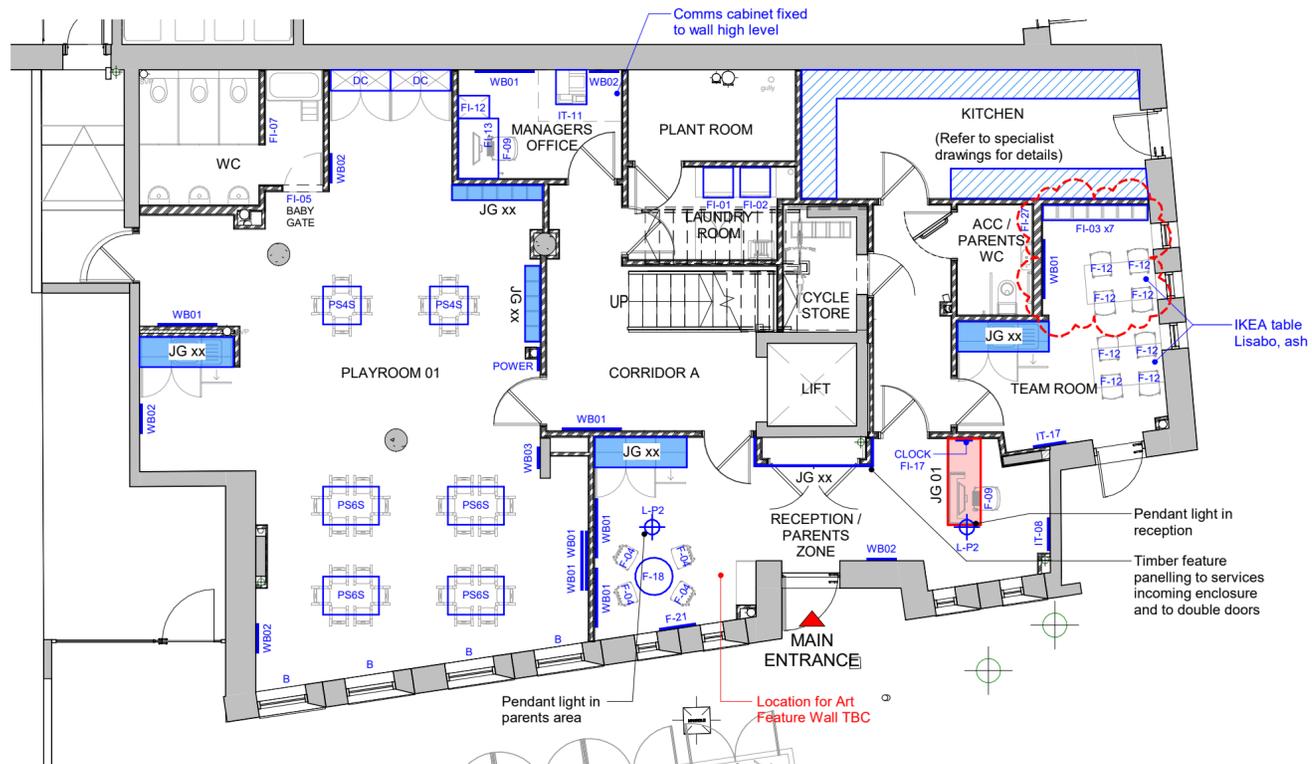
DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.
COPYRIGHT PROTECTED.

TENDER

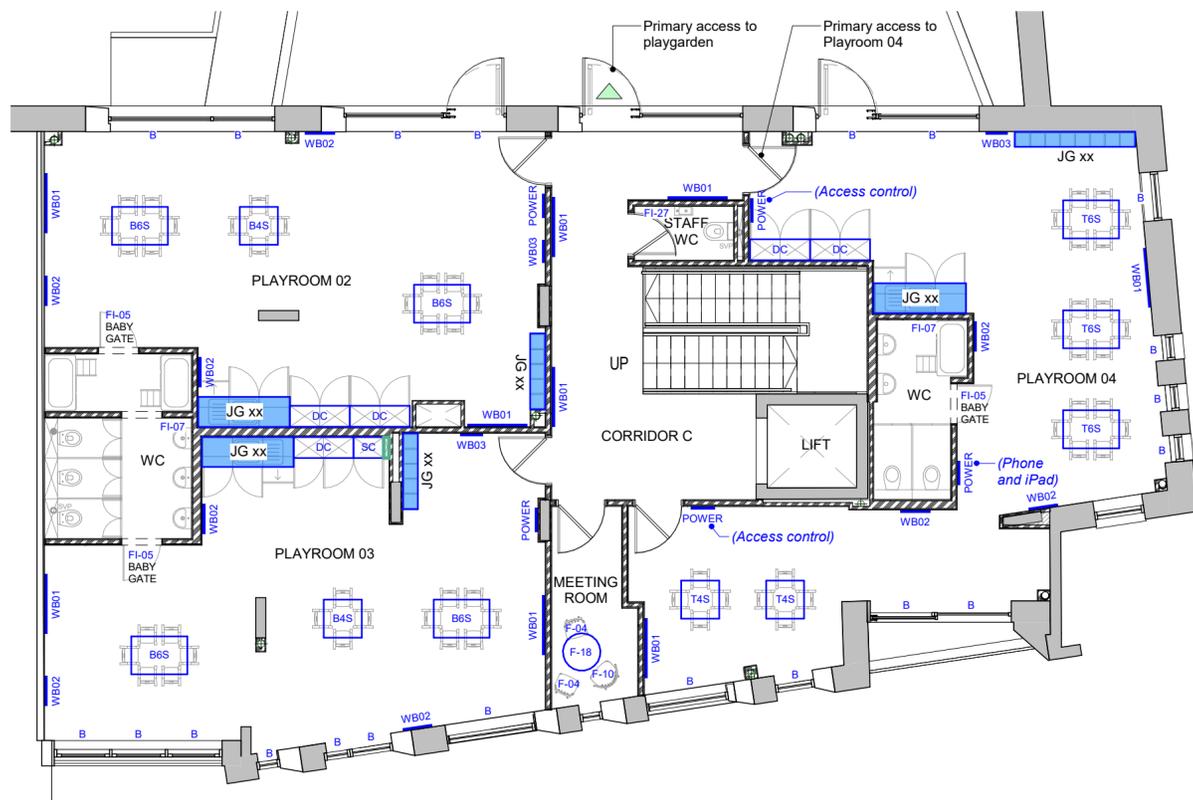
I = Information, T = Tender, C = Construction, R = Record

FF&E items to be read in conjunction with NFamily procurement guide

Final locations of whiteboards TBC by client.



1
171
PROPOSED GROUND FLOOR FF&E
1 : 100



2
171
PROPOSED FIRST FLOOR FF&E
1 : 100

ROOM ITEMS

C	CUBBY HOLE JOINERY
S	FULL HEIGHT STORAGE
N	NAPPY CHANGE UNIT
WS	CHILD'S WATER STATION
K	KITCHENETTE
NK	NOOK / SEATING
RD	RECEPTION DESK
WM	WASHING MACHINE
TD	TUMBLE DRYER
O	COMPACT OVEN
F	FRIDGE
AC	AIR CONDITIONING UNIT
AP	AIR PURIFICATION UNIT
HT	HEATER
R	RADIATOR
H	CHILD HEIGHT HANDRAIL
B	BLIND

DRAWING KEY

F-00	FREESTANDING FURNITURE REFER TO SPECIFICATION DOCUMENT
MJ	FREESTANDING MOBILE JOINERY INDICATIVE LOCATIONS ONLY
L-00	PENDANT LIGHT REFER TO SPECIFICATION DOCUMENT
L-00	WALL LIGHT REFER TO SPECIFICATION DOCUMENT
T-T8 T-B4	CHILDRENS FURNITURE REFER TO DESIGN GUIDE CODES
WB-XX	WHITEBOARDS REFER TO SPECIFICATION DOCUMENT

NOTES

SETTING OUT OF ALL FEATURE LIGHTING TO BE CONFIRMED WITH L&H / CLIENT ON SITE. WALL LIGHTS MOUNTED 1800mm ABOVE THE FINISH FLOOR LEVEL, UNLESS OTHERWISE NOTED. PENDANT DROPS 2000mm ABOVE THE FLOOR FINISH LEVEL, UNLESS OTHERWISE NOTED.

Blue box	STANDARD JOINERY ITEM REFER TO JOINERY DRAWINGS & DESIGN GUIDE
Red box	ADAPTED JOINERY ITEM (ASTERISK IN CODE) REFER TO JOINERY DRAWINGS & DESIGN GUIDE
Green box	BESPOKE JOINERY ITEM / COMPONENT REFER TO JOINERY DRAWINGS

REV	DATE	DESCRIPTION	DRAWN	CHKD
02	29.08.23	Lockers relocated in Teams Room to suit client comments	TC	JFM
01	29.08.23	Tables in Reception Area and Team Room updated. Reception Area pendant lights revised. Location of phone and iPad to PR04 revised. Layout updated to suit latest GA	TC	JFM



NURSERY LOCATION
GREENWICH MV
COUNTRY
ENGLAND

PROJECT
**N FAMILY CLUB
NEW NURSERY**

DRAWING
**PROPOSED ALL FLOORS
FF&E**

CONSULTANT
LEWIS AND HICKEY
DISCIPLINE DESCRIPTION
ARCHITECTURE

CONSULTANT LOGO
L&H
18 Farnham Road
Guildford
Surrey
GU1 4XA
Tel: 01483 560908
Fax: 01483 560660
Email: guildford@lewishickey.com

SCALE	PAPER SIZE	DATE	DRAWN	CHECKED
1 : 100	A2	08.08.23	TC	JFM

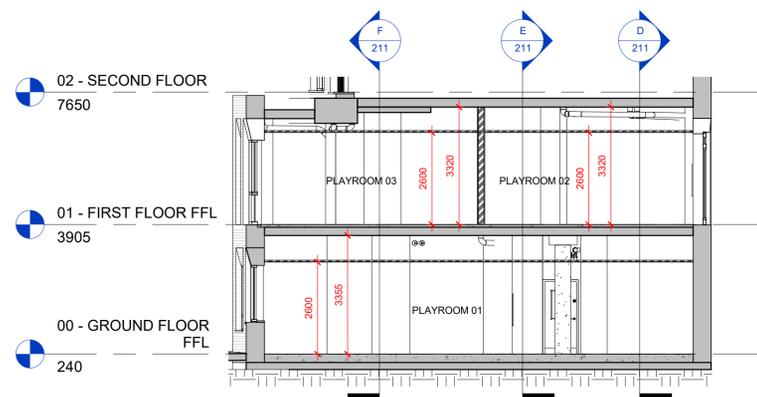
PROJECT No.	DISCIPLINE CODE	DRAWING No.
GMV001	A	171

CONSULTANT PROJECT No.	STATUS	REVISION
G4752	T	02

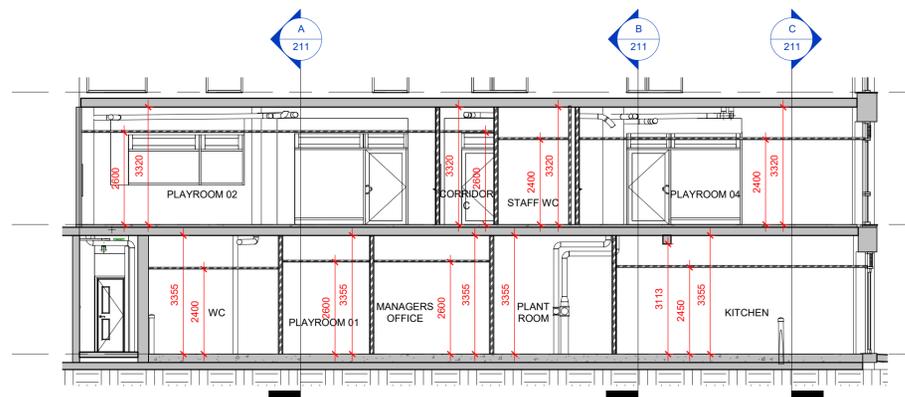
DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.
COPYRIGHT PROTECTED.

TENDER

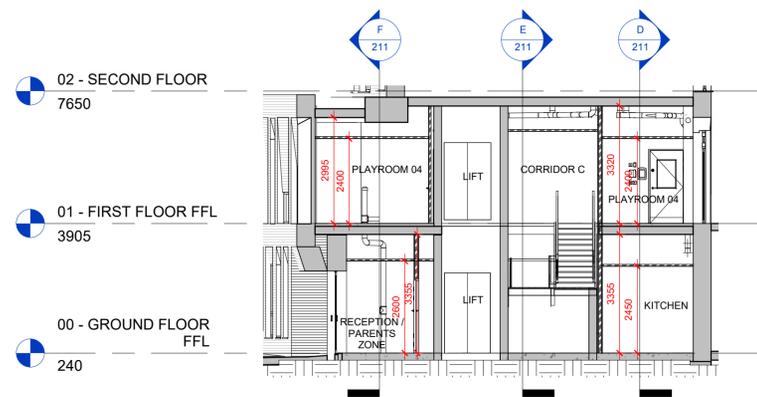
NOTE:
INFORMATION BASED ON RECORD DRAWINGS
PROVIDED BY OTHERS. SUBJECT TO SITE
SURVEY ARCHITECT TO BE IMMEDIATELY
ADVISED OF ANY DISCREPANCIES.



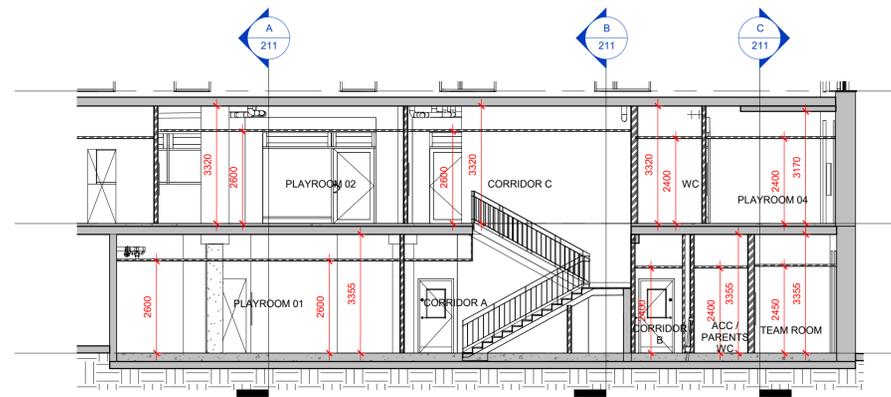
A
211
PROPOSED SECTION A
1: 100



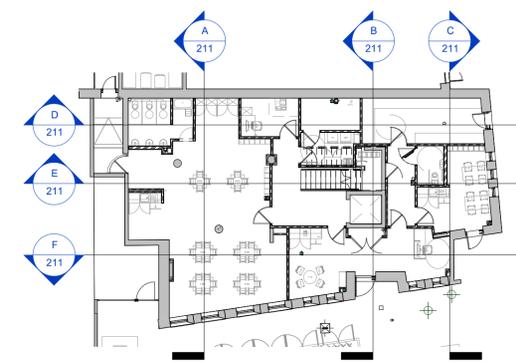
D
211
PROPOSED SECTION D
1: 100



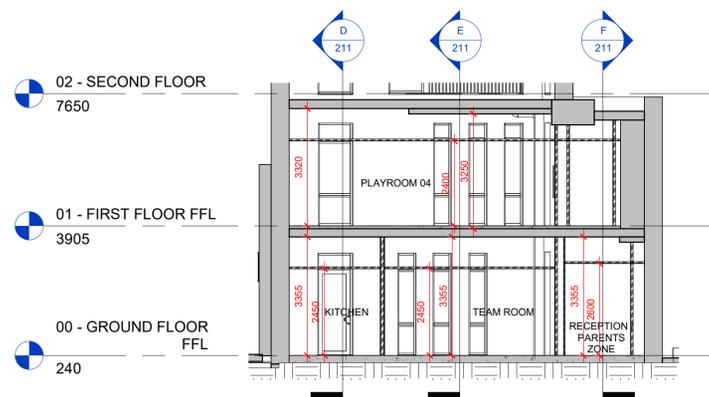
B
211
PROPOSED SECTION B
1: 100



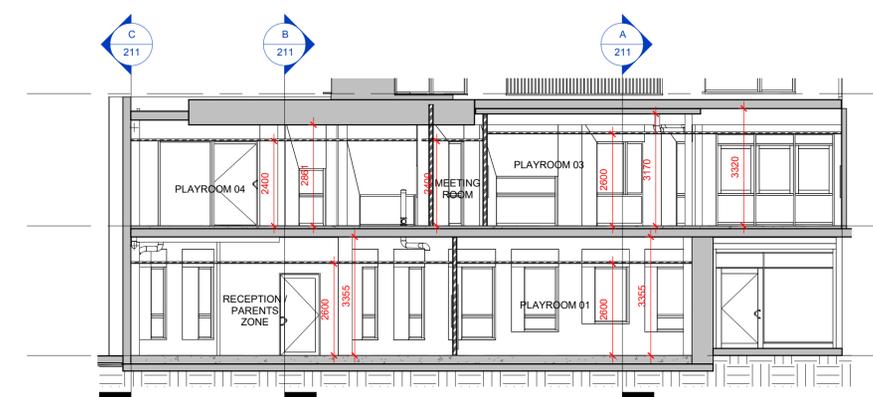
E
211
PROPOSED SECTION E
1: 100



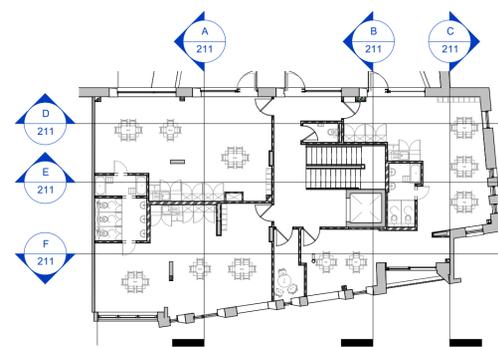
1
211
PROPOSED GROUND FLOOR SECTIONS KEY
1: 200



C
211
PROPOSED SECTION C
1: 100



F
211
PROPOSED SECTION F
1: 100



2
211
PROPOSED FIRST FLOOR SECTIONS KEY
1: 200

NOTE: EXISTING STRUCTURAL SOFFIT LEVEL
TO ALL FLOORS TO BE VERIFIED ON SITE.

REV	DATE	DESCRIPTION	DRAWN	CHKD
02	29.08.23	Updated to suit latest GA revisions. Issued for Tender	TC	JFM
01	09.08.23	Updated to latest GA. Ceiling heights lowered to rooms to suit M&E	TC	JFM



NURSERY LOCATION
GREENWICH MV
COUNTRY
ENGLAND
PROJECT
NEW NURSERY

DRAWING
PROPOSED GENERAL SECTIONS

CONSULTANT
LEWIS AND HICKEY
DISCIPLINE DESCRIPTION
ARCHITECTURE

CONSULTANT LOGO
L&H
18 Farnham Road
Guildford
Surrey
GU1 4XA
Tel: 01483 560908
Fax: 01483 560660
Email: guildford@lewishickey.com

SCALE As indicated PAPER SIZE A1 DATE 01.08.23 DRAWN TC CHECKED JFM

PROJECT No. GMV001 DISCIPLINE CODE A DRAWING No. 211

CONSULTANT PROJECT No. G4752 STATUS T REVISION 02

DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.
COPYRIGHT PROTECTED.

TENDER

I = Information, T = Tender, C = Construction, R = Record

OCCUPANCY PER FLOOR

GROUND FLOOR	32 Children / 4+5 Staff
FIRST FLOOR	55 Children / 15 Staff

TRAVEL DISTANCE

GROUND FLOOR

A = 8.3 m to protected compartment / 15.5 m to final escape
 B = 10.3 m to protected compartment / 17.5 m to final escape
 C = 2.4 m to protected compartment / 11.4 m to final escape
 D = 3.8 m to protected compartment / 12.4 m to final escape
 E = 6.4 m to protected compartment / 6.4 m to final escape
 F = 8.6 m to protected compartment / 8.6 m to final escape
 G = 4.7 m to protected compartment / 4.7 m to final escape

FIRST FLOOR

H = 11.2 m to protected compartment / 18.5 m to final escape
 J = 10.8 m to protected compartment / 10.8 m to final escape
 K = 4.3 m to protected compartment / 4.3 m to final escape
 L = 9.7 m to protected compartment / 9.7 m to final escape
 M = 9.5 m to protected compartment / 9.5 m to final escape
 N = 6.9 m to protected compartment / 15.2 m to final escape
 P = 2.9 m to protected compartment / 10.7 m to final escape

NOTES:

ACCORDING TO GUIDANCE FROM THE DEPARTMENT OF EDUCATION WITHIN BB100 (THE FIRE STRATEGY DESIGN GUIDE FOR SCHOOLS) NURSERIES SHOULD NOT BE LOCATED ABOVE GROUND FLOOR. THE BUILDING OPERATOR SHOULD ENSURE THAT SUFFICIENT ADEQUATELY-TRAINED STAFF ARE AVAILABLE TO MANAGE THE EVACUATION OF CHILDREN IN CASE OF FIRE, AND CONSIDERATION SHOULD BE GIVEN TO THE LOCATION ABOVE GROUND OF CHILDREN OF VARIOUS AGES AS PART OF AN APPROPRIATE MANAGEMENT STRATEGY. THE NUMBER OF STAFF NECESSARY TO MANAGE THE SAFE EVACUATION MAY NECESSARILY EXCEED THE MINIMUM STAFFING LEVELS REQUIRED FOR THE CARE OF CHILDREN.

THESE ARE DIAGRAMMATIC REPRESENTATIONS OF COMPARTMENTATION ONLY. FURTHER ATTENTION WILL BE REQUIRED TO DETAILING IN ORDER TO ENSURE PROPER COMPARTMENTATION AND FIRE RESISTANCE IN LINE WITH THE REQUIREMENTS OF APPROVED DOCUMENT PART B: VOLUME 2 OF THE BUILDING REGULATIONS.

AS OPENING UP WORKS HAVE NOT YET BEEN CARRIED OUT, THE INHERENT FIRE RATING OF ALL EXISTING INTERNAL WALLS WILL NEED TO BE ESTABLISHED BY THE CONTRACTOR THROUGH SURVEYS AT THE OUTSET OF THE PROJECT. WHERE FIRE-RESISTANCE OF EXISTING ELEMENTS DOES NOT MEET THE LEVELS REQUIRED BY THE FIRE STRATEGY, THE CONTRACTOR IS TO PROVIDE PROPOSALS OF HOW UPGRADES WILL BE MADE FOR REVIEW BY THE APPROVED INSPECTOR. UPGRADES THAT REQUIRE DEVIATION FROM THE PROPOSED PLANS MAY REQUIRE LISTED BUILDING CONSENT. IF IN DOUBT CONTACT THE ARCHITECT AND PLANNING CONSULTANT.

REV	DATE	DESCRIPTION	DRAWN	CHKD
01	29.08.23	Updated to suit latest GA revisions. Issued for Tender	TC	JFM



NURSERY LOCATION
GREENWICH MV
COUNTRY
ENGLAND

PROJECT
**N FAMILY CLUB
NEW NURSERY**

DRAWING
**PROPOSED ALL FLOORS
FIRE STRATEGY**

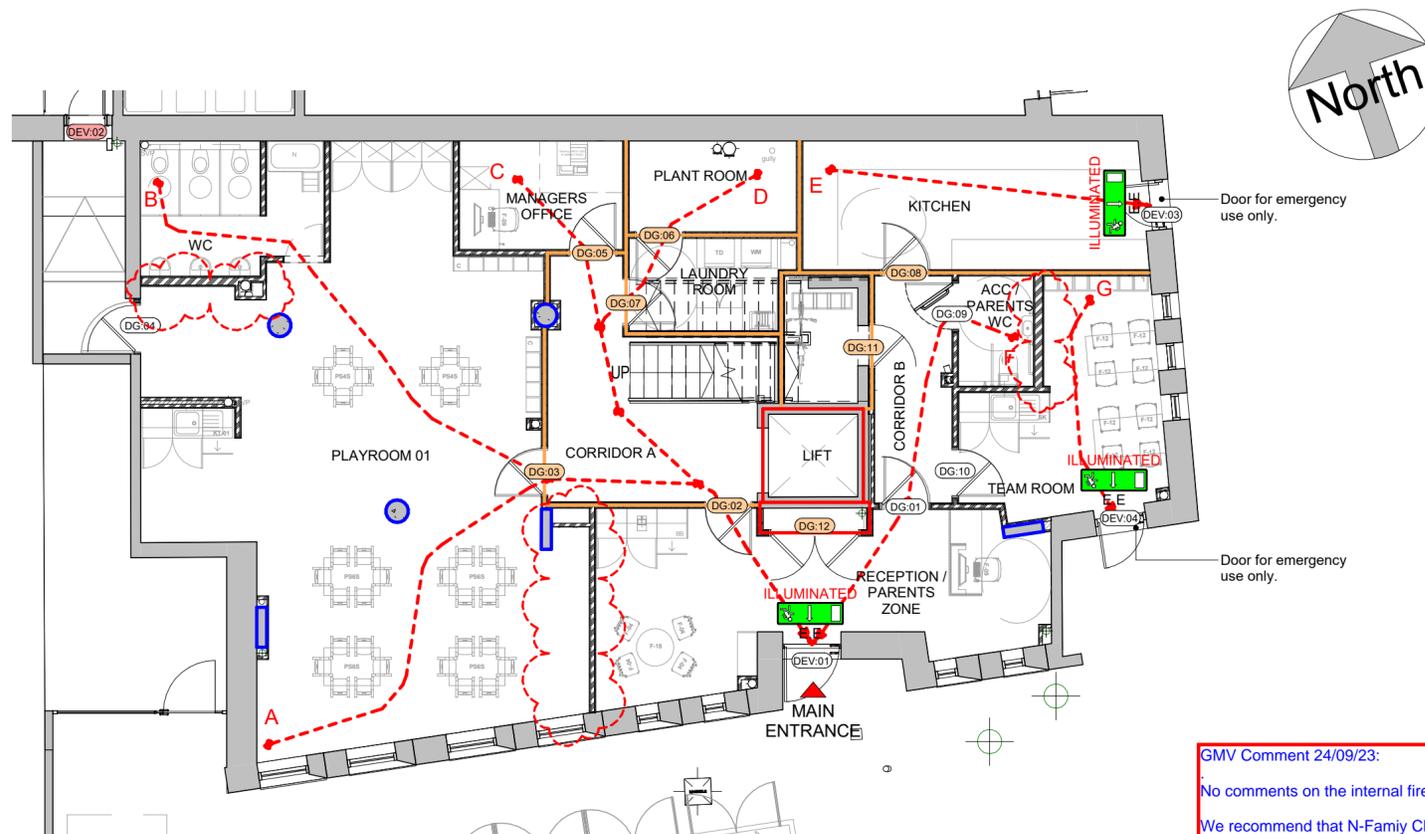
CONSULTANT
LEWIS AND HICKEY
DISCIPLINE DESCRIPTION
ARCHITECTURE

CONSULTANT LOGO
L&H
LEWIS AND HICKEY
18 Farnham Road
Guildford
Surrey
GU1 4XA
Tel: 01483 560908
Fax: 01483 560660
Email: guildford@lewis-hickey.com

SCALE	PAPER SIZE	DATE	DRAWN	CHECKED
As indicated	A2	04.08.23	TC	JFM

PROJECT No.	DISCIPLINE CODE	DRAWING No.
GMV001	A	311

CONSULTANT PROJECT No.	STATUS	REVISION
G4752	T	01



GMV Comment 24/09/23:
No comments on the internal fire strategy.
We recommend that N-Family Club's fire consultant reviews.

1 PROPOSED GROUND FLOOR FIRE STRATEGY PLAN
311 1 : 100

DRAWING TO BE READ IN CONJUNCTION WITH 3FE FIRE REPORT

FIRE EXTINGUISHER TYPES AND QUANTITIES TO BE ADVISED BY N FAMILY

ADDITIONAL NOTES:

THE MINIMUM ACCEPTABLE DETECTION AND ALARM SYSTEM FOR AN A2 RISK PROFILE IS AN M CATEGORY. HOWEVER, AN L2 CATEGORY IS RECOMMENDED TO GIVE EARLIER WARNING OF FIRE TO THE OCCUPANTS.

THERE IS SPRINKLER PROVISION TO THIS UNIT. THEREFORE THE RISK PROFILE IS REDUCED TO A1.

ALL ELEMENTS OF MAIN STRUCTURE SHOULD HAVE A MINIMUM PERIOD OF FIRE RESISTANCE OF 120 MINUTES, EITHER VIA INTUMESCENT PAINT APPLIED TO STEELWORK, OR ENCASING IN FIRELINING BOARDS. FURTHERMORE, ANY MEMBER OF STRUCTURE SUPPORTING THE STRUCTURE FOR THE BUILDING ABOVE SHOULD ALSO BE PROTECTED WITH 120 MINUTES FIRE RESISTANCE. THE FLOORS ARE ELEMENTS OF STRUCTURE, THEREFORE THEY WILL REQUIRE 120 MINUTES FIRE RESISTANCE.

INHERENT FIRE RATING OF EXISTING INTERNAL WALLS IS TO BE ESTABLISHED. CONTINUITY OF 120MIN FIRE PROTECTION OF THE STRUCTURAL FLOORS IS REQUIRED SO WHERE EXISTING WALLS BREAK THIS THEY WILL NEED TO BE UPGRADED ACCORDINGLY.

ALL ACCESS CONTROLS TO DOORS ALLOWING ENTRY BACK INTO THE BUILDING SHOULD FAIL SAFE IN THE EVENT OF FIRE OR LOSS OF POWER.

ALL GLAZED ELEMENTS BETWEEN ANY FLOOR AREA AND THE ESCAPE ROUTES OR PROTECTED CORE SHOULD BE EI 30.

GLAZING ON ALL FD30S DOORS DOES NOT NEED TO BE EI30 WHERE THE GLAZED AREA IS LESS THAN THE 25% OF THE DOOR AREA.

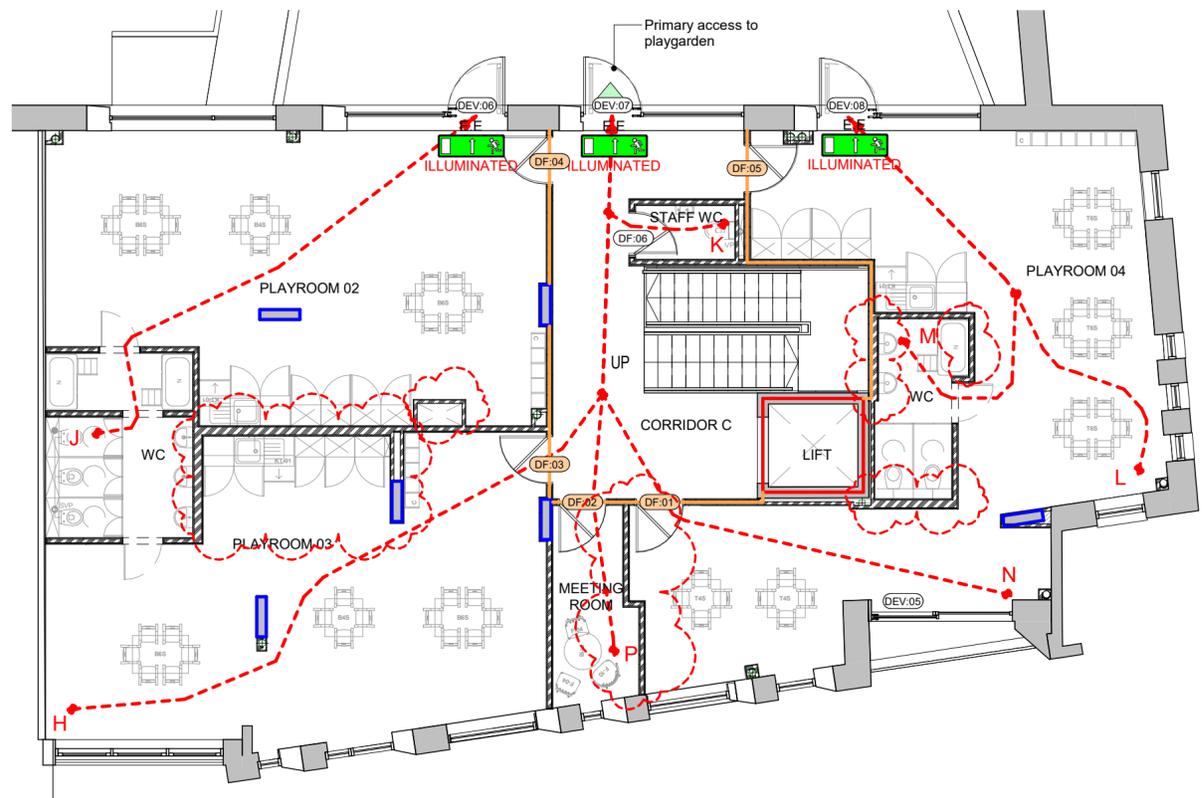
ALL PARTS OF THE BUILDING ARE WITHIN A 45M HOSE DISTANCE FROM WHERE A FIRE TRUCK COULD ACCESS AND PARK.

FIRE STOPPING CAVITY BARRIERS REQUIRED TO ENSURE COMPARTMENTATION BETWEEN FLOORS AND ROOMS E.G. WITHIN CAVITY WALLS, BELOW SUSPENDED FLOORS, WITHIN SUSPENDED CEILINGS. THE MAXIMUM SPACING OF CAVITY BARRIERS SHOULD BE 20m IN ANY DIRECTION.

FIRE STOPPING REQUIRED TO ANY SERVICES PASSING THROUGH COMPARTMENT WALLS WITH AN INTUMESCENT FIRE COLLAR OR SIMILAR.

DRAWING KEY:

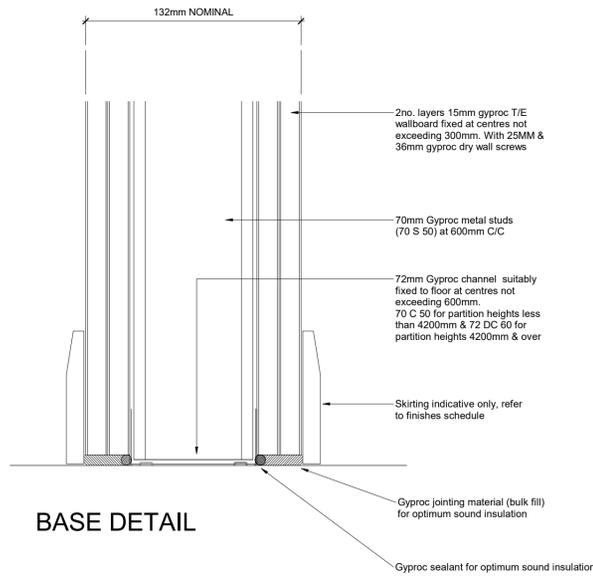
	30min COMPARTMENT		30min RATED FIRE DOOR (FD30s)
	60min COMPARTMENT		60min RATED FIRE DOOR (FD60s)
	120min COMPARTMENT		E30 FIRE RATING OF GLAZING (E = Integrity / I = Insulation)
	LONGEST EVACUATION ROUTE		EXIT SIGNAGE
	FIRE CURTAIN		EMERGENCY LIGHTING
	SMOKE DETECTOR WITH SOUNDER		FIRE ALARM ZONE ISOLATOR
	HEAT DETECTOR WITH SOUNDER		LOOP WIRE FIRE ALARM SYSTEM SOUNDER
	SPRINKLER		BREAK GLASS UNIT
	FIRE ALARM PANEL		LOOP WIRE FLASHING BEACON BUZZER UNIT



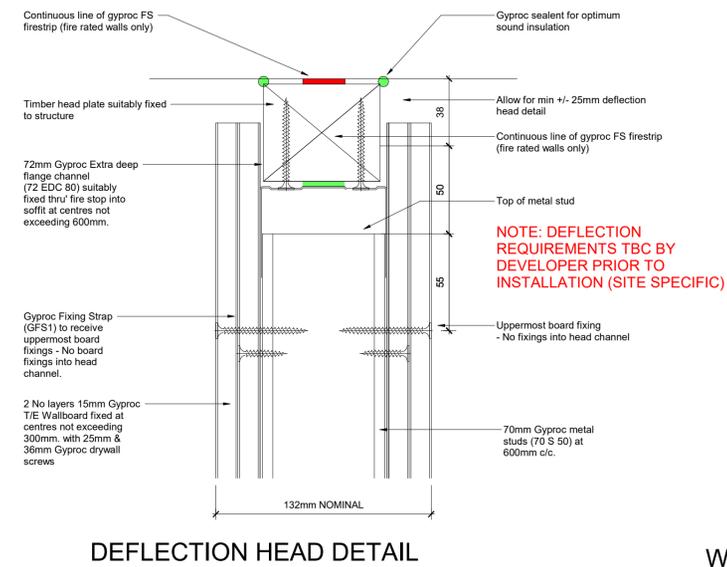
2 PROPOSED FIRST FLOOR FIRE STRATEGY PLAN
311 1 : 100

DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED ON SITE. COPYRIGHT PROTECTED.

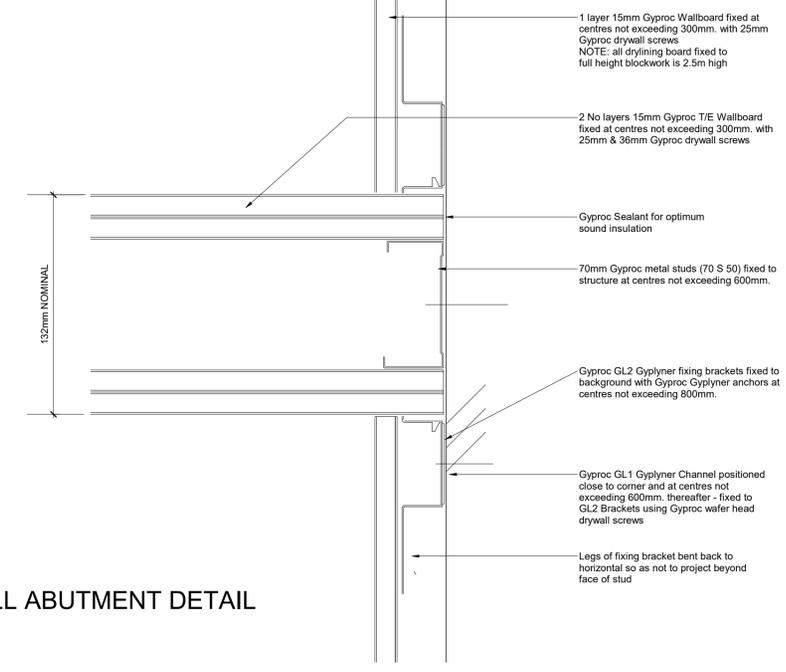
TENDER



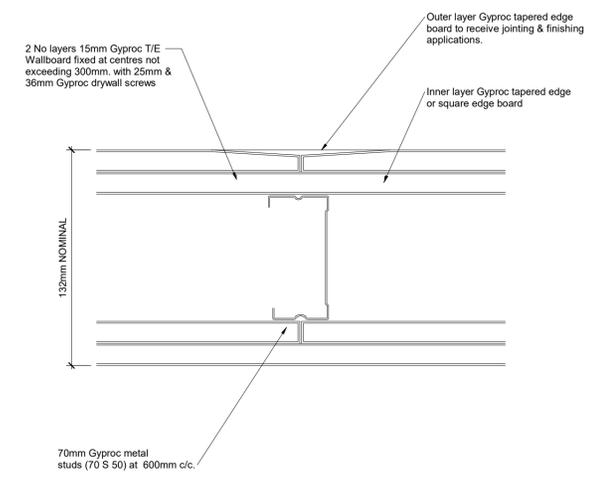
BASE DETAIL



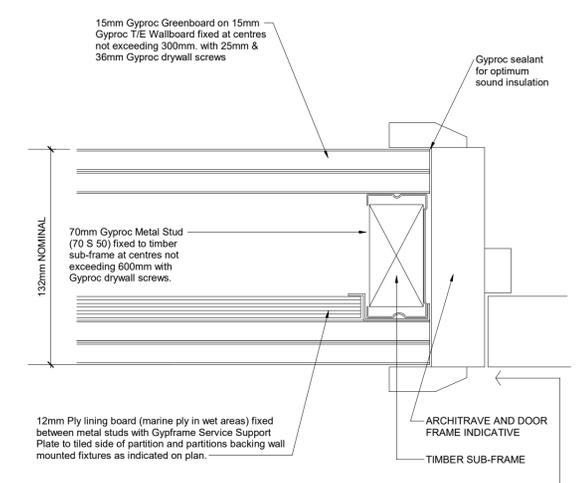
DEFLECTION HEAD DETAIL



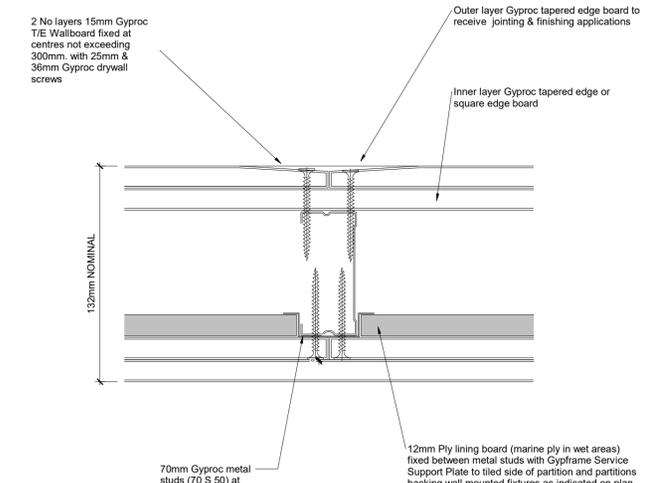
WALL ABUTMENT DETAIL



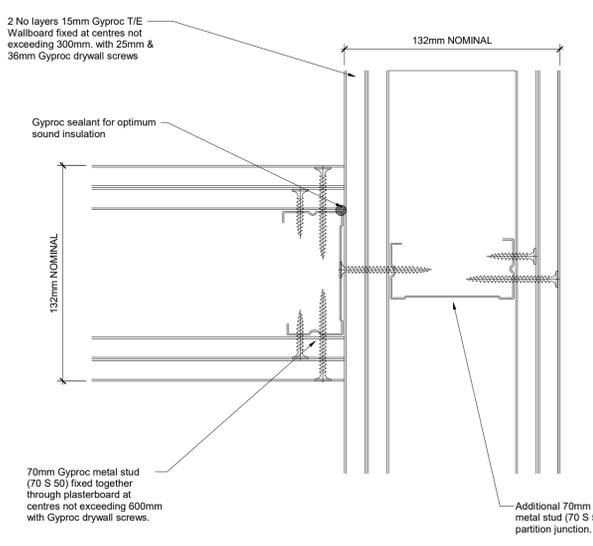
BOARD JOINT DETAIL



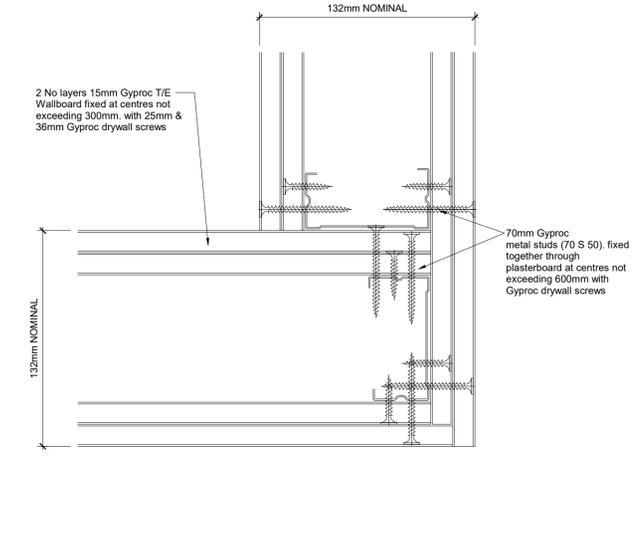
DOOR JAMB DETAIL



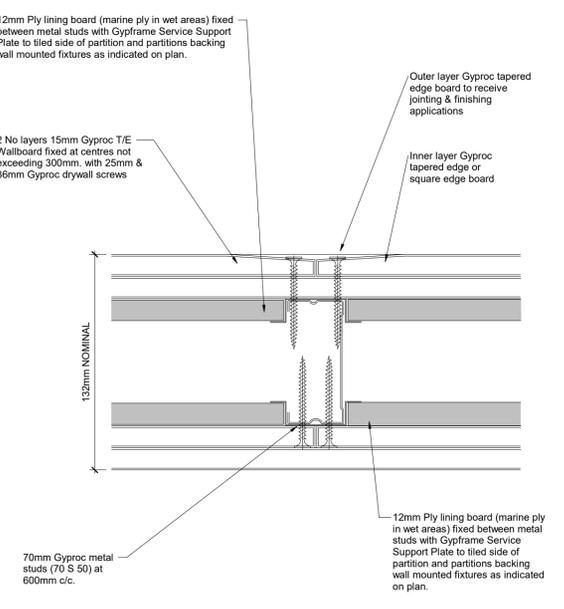
12MM PLY LINING



T JUNCTION DETAIL



CORNER DETAIL



12mm PLY LINING TO BOTH SIDES

DETAILS SHOWN INDICATE 132 NOMINAL WIDE PARTITIONS.

FOR ALL OTHER PARTITION SIZES REFER TO MANUFACTURERS DETAILS

THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH CURRENT GYPSUM INDUSTRIES LITERATURE. AVAILABLE AT WWW.BRITISH-GYPSUM.COM

REV	DATE	DESCRIPTION	DRAWN	CHKD



NURSERY LOCATION
GREENWICH MV
COUNTRY
ENGLAND
PROJECT
NEW NURSERY

DRAWING
PROPOSED ALL FLOORS PARTITION DETAILS

CONSULTANT
LEWIS AND HICKEY
DISCIPLINE DESCRIPTION
ARCHITECTURE

CONSULTANT LOGO
L&H
LEWIS AND HICKEY
18 Farnham Road
Guildford
Surrey
GU1 4XA
Tel: 01483 560908
Fax: 01483 560660
Email: guldord@lewishickey.com

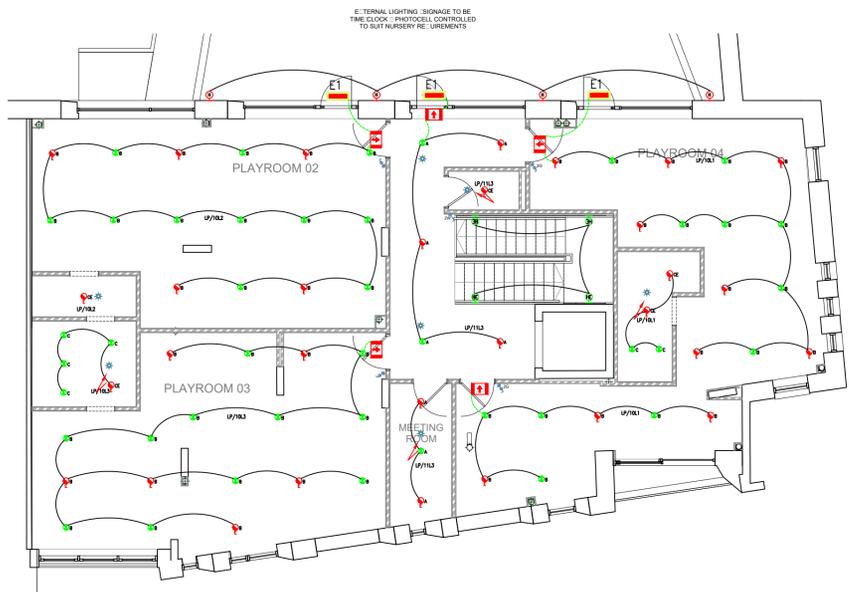
SCALE: 1:2 PAPER SIZE: A1 DATE: 18.08.23 DRAWN: TC CHECKED: JFM

PROJECT No: GMV001 DISCIPLINE CODE: A DRAWING No: 511

CONSULTANT PROJECT No: G4752 STATUS: T REVISION:



GROUND FLOOR



FIRST FLOOR

LUMINAIRE LEGEND	
	RECESSED LED DOWNLIGHT - 4000K - MANUAL - 3PH SWITCHING - TRILUX AMATIS 13 - DIA. 120 - FIRE HOOD
	AS A C/W 3PH EMERGENCY BACK UP
	RECESSED LED DOWNLIGHT - 4000K - SWITCH DIM CONTROL - TRILUX SONOS 1000 - 110 - 80° BEAM - FIRE HOOD
	AS B C/W 3PH EMERGENCY BACK UP
	RECESSED LED DOWNLIGHT - 4000K - MANUAL 3PH CONTROL - TRILUX SONOS 1000 - 110 - 80° BEAM - FIRE HOOD
	AS B C/W 3PH EMERGENCY BACK UP
	RECESSED LED DOWNLIGHT - 4000K - MANUAL 3PH SWITCHING - TRILUX AMATIS 13 - DIA. 120 - FIRE HOOD
	AS C C/W 3PH EMERGENCY BACK UP
	LED LINEAR FITTING - 4000K - 440V - TRILUX OCTO 2
	AS E C/W 3PH EMERGENCY BACK UP
	WALL MOUNTED LED SURFACE MOUNTED BULKHEAD - HOOD - WHITE/COOL SOLO 9 - 1400 - 14W - EM BACK UP
	WALL MOUNTED CIRCULAR LED - DIA. 400K 30W TRILUX OCE - EM BACK UP
	MULTI-STRAND PENDANT 45 OPEN - LED LAMP
	30R ILLUMINATED EXIT SIGN - TRILUX ESC WALL
	EMERGENCY EXIT BULKHEAD - TRILUX TX AX

LIGHTING CONTROLS LEGEND	
	MANUAL LIGHT SWITCH - DIA. DENOTES NUMBER OF GANGS - DIA. DENOTES NUMBER OF GANGS
	LED DIMMABLE RETRACTABLE LIGHT SWITCH - SWITCHDIM
	DUAL CIRCUIT FIRE DETECTOR - E-TRACT FAN CONTROL
	LOCAL WC E-TRACT FAN REFER TO MECHANICAL DESIGN

NOTES

ORIGINAL A1

- DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED ON SITE. COPYRIGHT PROTECTED.
- THIS DRAWING TO BE READ IN CONJUNCTION WITH N.F.C. ELECTRICAL SPECIFICATION / CURRENT STANDARDS / CODES OF PRACTICE AND ASSOCIATED DESIGN DRAWINGS.
 - CONTROL OF LIGHTING - E-TRACT FAN TO OPERATE VIA DUAL CIRCUIT P.I.R.
 - E-TRACT FAN TO OPERATE VIA ACTUATION OF EITHER DUAL CIRCUIT P.I.R.
 - ALL SERVICES ROUTES ARE DESIGN INTENT ONLY. COORDINATION IS TO BE FURTHER DETAILED / DEMONSTRATED UPON THE PRODUCTION OF WORKING DRAWINGS.
- ALL STRUCTURAL SUPPORTS ARE TO BE AGREED WITH THE STRUCTURAL ENGINEER.
 - ADEQUATE ALLOWANCE TO BE MADE FOR FIRE STOPPING OF SERVICE PENETRATIONS THROUGH SLABS, FLOORS AND PARTITIONS.
 - REFERENCE SHALL BE MADE TO ALL N FAMILY CLUB SPECIFICATIONS

REV	DATE	DESCRIPTION	DRAWN	CHECKED



PROJECT
NFC GREENWICH MV

DRAWING
PROPOSED
GROUND & FIRST FLOOR
LIGHTING LAYOUT

CONSULTANT
PLENARIUS DESIGN LTD
DISCIPLINE DESCRIPTION
ELECTRICAL
CONSULTANT LOGO

PLENARIUS DESIGN
Tel: 07472 40 40 20
Email: nealer@plenariusdesign.com
Web: www.plenariusdesign.com

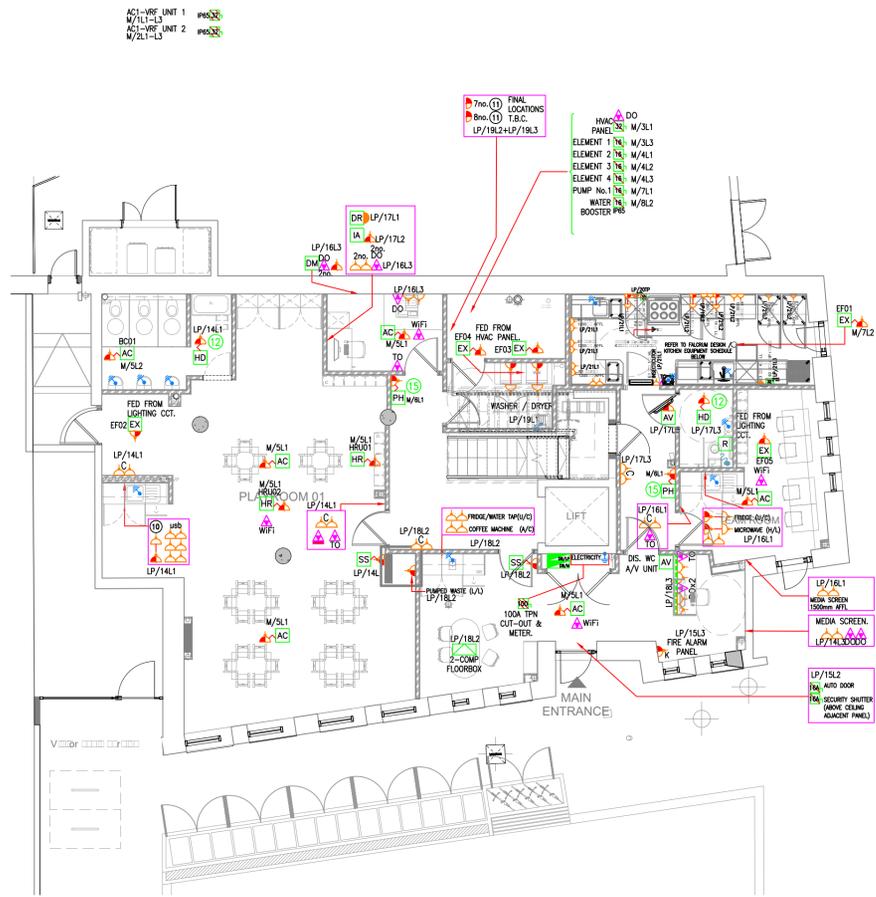
SCALE	PAPER SIZE	DATE	DRAWN	CHECKED
1:100	A1	AUG 23	M.C.	M.C.

SITE	DISCIPLINE CODE	DRAWING No
GMV001	E	010

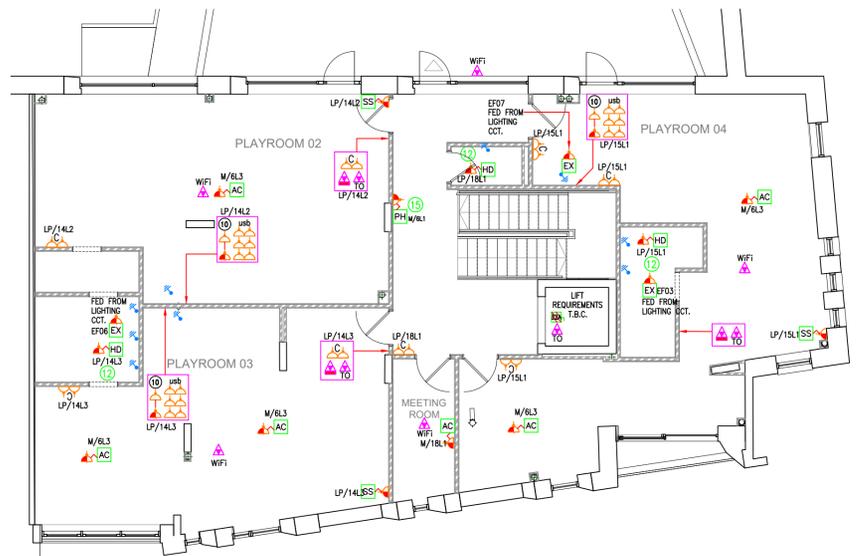
CONSULTANT PROJECT No	STATUS	REVISION
1433	T	00

THE SERVICES INSTALLING CONTRACTOR IS TO BE AWARE THAT THEY ARE FULLY RESPONSIBLE FOR THE DESIGN OF ALL SERVICES SUPPORTS, BRACKETS & FIXINGS FOR ALL ELEMENTS OF THE INSTALLATION. THIS TO INCLUDE SELECTION OF APPROPRIATE BRACKETS / FIXING ETC TO SUIT THE VARIOUS BUILDING FABRIC MATERIALS. IF NECESSARY THE CONTRACTOR TO OBTAIN APPROVAL OF ALL FIXINGS / BRACKETS FROM THE STRUCTURAL ENGINEER.

SAFETY, HEALTH & ENVIRONMENTAL INFORMATION	
IT IS ASSUMED THAT ALL WORKS WILL BE UNDERTAKEN BY A COMPETENT CONTRACTOR USING AN APPROVED METHOD STATEMENT, IN ADDITION TO THE HAZARDS / RISKS NORMALLY ASSOCIATED WITH THE TYPE OF WORKS DETAILED ON THIS DRAWING. PLEASE NOTE THE FOLLOWING ASPECTS:	
INSTALLATION RISKS	NO ADDITIONAL HAZARDS/RISKS PERCEIVED
OPERATION RISKS	NO ADDITIONAL HAZARDS/RISKS PERCEIVED
MAINTENANCE RISKS	NO ADDITIONAL HAZARDS/RISKS PERCEIVED
DEMOLITION / MODIFICATION RISKS	NO ADDITIONAL HAZARDS/RISKS PERCEIVED



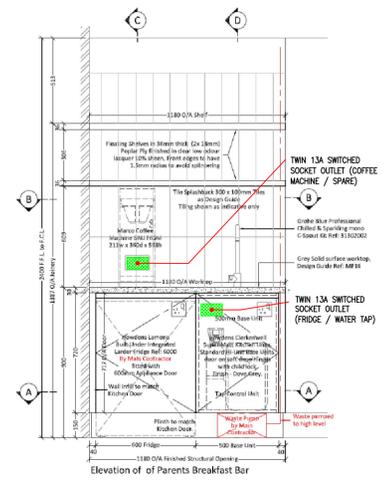
GROUND FLOOR



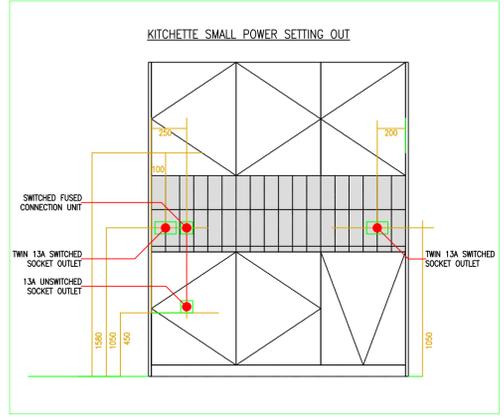
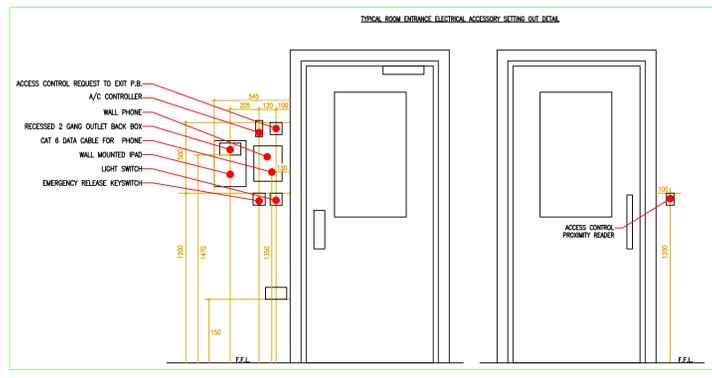
FIRST FLOOR

FALCRUM KITCHEN EQUIPMENT SCHEDULE				GAS		ELECTRICAL						
QTY	DESCRIPTION	MANUFACTURER	MODEL	COLOUR	LO.D	H	W	D	W	D	W	D
1	STAINLESS STEEL WALLMOUNTED UV FLYKILLER	PLURIZAP	PZ30SS									
1	OVERSPRAY UNIT (short) WITH SWIVEL FILLER ARM	AQUAJET	AJPR30S	BF1 swivel arm								
2	STAINLESS STEEL DEEP WALLSHELF (dishwash baskets)	FULCRUM	as dwg									
4	UNDERCOUNTER FRONT-LOADING DISHWASHER WITH INTEGRAL SOFTENER & DRAIN PUMP	MANGOLD	CS220WS									
5	STAINLESS STEEL 'L' SHAPED DISHWASH BENCH, INSET PRE-WASH BOWL, PART SHELF/PART OPEN UNDER	FULCRUM	as dwg									
6	3 'SLIM 87lit BINS ON MOBILE DOLLY' BASE	PROBBAX	SL87									
7	STAINLESS STEEL WALLMOUNTED HAND WASH BASIN	BASKO	WS2-L	lever taps								
8	STAINLESS STEEL 'L' SHAPED WALLBENCH/SINK UNIT, LH DRAINER, SHELF UNDER, VOID FOR FRIDGE & BIN	FULCRUM	as dwg									
9	STAINLESS STEEL 'L' SHAPED 2-TIER WALLSHELF	FULCRUM	as dwg									
10	OMITTED											
11	ELECTRIC 6-ZONE INDUCTION RANGE WITH OVEN UNDER	LINCAT	PHERO1			17.1	3	32g/PH	1200mm	600mm		ISO/COM
12	NYLON COATED WIRE 5-TIER STORAGE RACK MOBILE	EASIS	as dwg									
13	STAINLESS STEEL WALLBENCH, OPEN UNDER FOR BIN, FRIDGE & FREEZER	FULCRUM	as dwg									
14	STAINLESS STEEL FINISH UNDERCOUNTER REFRIGERATOR	FULCRUM	as dwg									
15	STAINLESS STEEL FINISH UNDERCOUNTER FREEZER	FULCRUM	as dwg									
16	STAINLESS STEEL 2-TIER WALLSHELF	FULCRUM	as dwg									
17	STAINLESS STEEL UPRIGHT GASTRONOM REFRIGERATOR	STERLING PRO	SPR600			1.0	1	13	1200mm	1200mm		SSO
18	STAINLESS STEEL WALLMOUNTED EXTRACT CANOPY (only)	FULCRUM	as dwg									
19	OMITTED											
20	STAINLESS STEEL UPRIGHT GASTRONOM FREEZER	STERLING PRO	SN600			1.0	1	13	1200mm	1200mm		SSO
21	OMITTED											
22	OMITTED											

TYPICAL PARENT_ZONE KITCHENETTE SETTING OUT ARRANGEMENT



LEGEND	
[Symbol]	SINGLE 13A SWITCHED SOCKET OUTLET
[Symbol]	COMMANDO SOCKET BS4343
[Symbol]	TWIN 13A SWITCHED SOCKET OUTLET
[Symbol]	SINGLE 13A RCD SWITCHED FUSED CONNECTION UNIT
[Symbol]	SINGLE 13A KEY OPERATED FUSED CONNECTION UNIT
[Symbol]	SINGLE 13A UNSWITCHED FUSED CONNECTION UNIT
DATA COMMUNICATION SYMBOLS	
[Symbol]	DATA OUTLET RJ45-CAT 6 TO DENOTES TELEPHONE OUTLET
[Symbol]	DATA OUTLET RJ45-CAT 6 TO DENOTES DATA OUTLET
LV SYMBOLS	
[Symbol]	SINGLE PHASE ISOLATOR C/W AUTOMATIC BLIND CONTROL SWITCH
[Symbol]	SINGLE PHASE ISOLATOR
[Symbol]	MAIN SUPPLEMENTARY BONDING POINT
[Symbol]	DISABLED PULL CORD
[Symbol]	IPAD WALL DOCKING STATION C/W DATA CONNECTION
[Symbol]	USB CHARGING SOCKET OUTLET SEE NOTE 10
[Symbol]	INTERNAL AC CASSETTE UNIT
[Symbol]	WALL MOUNTED PANEL HEATER
[Symbol]	PUMPED DRAINAGE UNIT
[Symbol]	SONOS SPEAKER -13A SOCKET RE-USED
[Symbol]	HEAT RECOVERY UNIT
[Symbol]	AC BRANCH CONTROLLER



REFER TO SPECIALISTS SECURITY DRAWING FOR CCTV, DATA REQUIREMENTS AND ACCESS CONTROLLER POWER SUPPLY REQUIREMENTS.

FINAL LOCATIONS / SETTING OUT OF ALL ELECTRICAL ACCESSORIES TO BE AGREED WITH ARCHITECT.

ELECTRICAL CONTRACTOR TO PROVIDE MECHANICAL POWER SUPPLIES / CONTROL WIRING AS CONTROLS SPECIALIST / MECHANICAL DESIGN REQUIREMENTS.

THE SERVICES INSTALLING CONTRACTOR IS TO BE AWARE THAT THEY ARE FULLY RESPONSIBLE FOR THE DESIGN OF ALL SERVICES SUPPORTS, BRACKETS & FIXINGS FOR ALL ELEMENTS OF THE INSTALLATION. THIS TO INCLUDE SELECTION OF APPROPRIATE BRACKETS / FIXING ETC TO SUIT THE VARIOUS BUILDING FABRIC MATERIALS. IF NECESSARY THE CONTRACTOR TO OBTAIN APPROVAL OF ALL FIXINGS / BRACKETS FROM THE STRUCTURAL ENGINEER.

SAFETY, HEALTH & ENVIRONMENTAL INFORMATION

IT IS ASSUMED THAT ALL WORKS WILL BE UNDERTAKEN BY A COMPETENT CONTRACTOR USING AN APPROVED METHOD STATEMENT. IN ADDITION TO THE HAZARDS / RISKS NORMALLY ASSOCIATED WITH THE TYPE OF WORKS DETAILED ON THIS DRAWING, PLEASE NOTE THE FOLLOWING ASPECTS:

INSTALLATION RISKS
NO ADDITIONAL HAZARDS/RISKS PERCEIVED

OPERATION RISKS
NO ADDITIONAL HAZARDS/RISKS PERCEIVED

MAINTENANCE RISKS
NO ADDITIONAL HAZARDS/RISKS PERCEIVED

DEMOLITION / MODIFICATION RISKS
NO ADDITIONAL HAZARDS/RISKS PERCEIVED

TYPICAL I.T. REQUIREMENTS - CAT 6 STRUCTURED CABLING BY SERITA (CLIENT DIRECT APPOINTMENT)

3 x cat6 data cables between the entry point of the BT Distribution Point and the data cabinet location. Additional data may require for Fibre optic leased line. This will be confirmed upon completion of IT and BT surveys.

The data cabinet hung (Croft will provide cabinet upon request)

All Cat 6 Data cables to be tested and labelled.

All locations for wall mounted iPads, wall mounted phones and the TV in reception to be plywood (12mm min.) backed.

Double gang knock out box or fast fix box located 1470mm from the floor for iPads (See figure 1).

White plastic double gang blanking plate over each iPad box (Croft will remove and re-fix once we have installed the step down transformers for the iPad charging) (IT-06)

Croft will supply and install BouncePad iPad mounts. (IT-12)

Wall mounted Phones - 1 x Cat6 data cable (Position shown in Figure 1) terminated with an RJ45 crimp at phone. Once installed cover with tape to protect from pin (IT-03)

Ceiling/Wall mounted Wifi Points - 1 x Cat6 data cable terminated with an RJ45 crimp at AP end. Once installed cover with tape to protect from pin.

When terminating at comms cab, please group cables by device (e.g. 1-8 Phones, 9-14 Wifi Points etc)

Single Switched Fused Spur at all wall mounted Sonos speaker locations located 180mm from ceiling. Croft will supply power cables for Sonos ahead of install. (IT-10)

Cable management holes drilled in FOH Desk and managers office desk for Power and data cables to pass through. Please add one by each Mac/PC

4 x cat6 data points (terminated in modules with faceplate) in FOH desk (IT-04 & IT-09)

4 x cat6 data points (terminated in modules with faceplate) at Managers Desk (IT-03 & IT-14)

2 x cat6 data points (terminated in modules with faceplate) at 'Standard Floor level' wherever the printer is to be located. (IT-11)

2 x cat6 data points (terminated in modules with faceplate) behind FOH Information Screen/Monitor (IT-09).

NOTES

DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED ON SITE. COPYRIGHT PROTECTED.

- THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL N.F.C. SPECIFICATIONS: CURRENT STANDARDS & CODES OF PRACTICE AND ASSOCIATED DESIGN DRAWINGS.
- THE ELECTRICAL SERVICES CONTRACTOR SHALL SUPPLY AND INSTALL ALL POWER DISTRIBUTION REQUIREMENTS INCLUDING HVAC EQUIPMENT.
- THE WORKS SHALL BE INCLUSIVE OF ALL CABLING, CONTAINMENT AND TERMINATING AT LOCAL ISOLATORS INCLUDING FINAL CONNECTIONS TO EQUIPMENT WHERE REQUIRED.
- ELECTRICAL OUTLETS SHALL TYPICALLY BE WHITE PLASTIC FINISH.
- 13 AMP SOCKET OUTLET FINAL CIRCUITS SHALL HAVE RCBO PROTECTION
- SUPPLIED EQUIPMENT REQUIRING HIGH INTEGRITY EARTHING SHALL BE FED FROM DEDICATED RADIAL CIRCUITS (4mm² LXS VIA 20 AMP RCBO).
- ALL SERVICES DISTRIBUTION SHALL BE CONCEALED IN PARTITIONS WITHIN CONDUIT.
- SUPPLEMENTARY BONDING CONNECTION (4mm² MIN COPPER CABLE WITH GN/YW LSF SHEATH TO ALL E-POSED AND E-TRANSCIOUS CONDUCTIVE PARTS USING PROPRIETARY BS-11 CLAMPS MOUNTED 4.0m AFFL.
- ALL WORKS SHALL COMPLY WITH CURRENT EDITION OF BS-7671.
- PLAYROOM KITCHENETTES TO HAVE UNDER COUNTER FRIDGE SUPPLY: TWIN 13A SOCKET FOR GENERAL POWER AND TWIN 13A SOCKET C/W TWIN USB CHARGING OUTLETS LOCATED WITHIN HIGH LEVEL CURB-GUARD. REFER TO ARCHITECT ELEVATIONS FOR SETTING OUT.
- POWER SUPPLY CONTAINMENT FOR SECURITY EQUIPMENT REFER TO SPECIALIST DESIGN DRAWINGS FOR FINAL SETTING OUT REQUIREMENTS.
- ALL SERVICES ROUTES ARE DESIGN INTENT ONLY. COORDINATION IS TO BE FURTHER DETAILED DEMONSTRATED UPON THE PRODUCTION OF WORKING DRAWINGS.
- ALL STRUCTURAL SUPPORTS ARE TO BE AGREED WITH THE STRUCTURAL ENGINEER.
- ADEQUATE ALLOWANCE TO BE MADE FOR FIRE STOPPING OF SERVICE PENETRATIONS THROUGH SLABS, FLOORS AND PARTITIONS.
- PANEL HEATER SUPPLY CABLE TO BE KEPT TO MINIMUM RE-USED LENGTH AND CLEATED TO WALL.

REV DATE DESCRIPTION DRAWN CHECKED

n. family club

PROJECT
NFC GREENWICH MV

DRAWING
PROPOSED GROUND & FIRST FLOOR POWER & DATA LAYOUT

CONSULTANT
PLENARIUS DESIGN LTD
DISCIPLINE DESCRIPTION
ELECTRICAL
CONSULTANT LOGO

PLENARIUS DESIGN
Tel: 07472 40 40 20
Email: nealer@plenariusdesign.com
Web: www.plenariusdesign.com

SCALE PAPER SIZE DATE DRAWN CHECKED
1:100 A1 AUG 23 M.C. M.C.

SITE DISCIPLINE CODE DRAWING No
GMV001 E 020

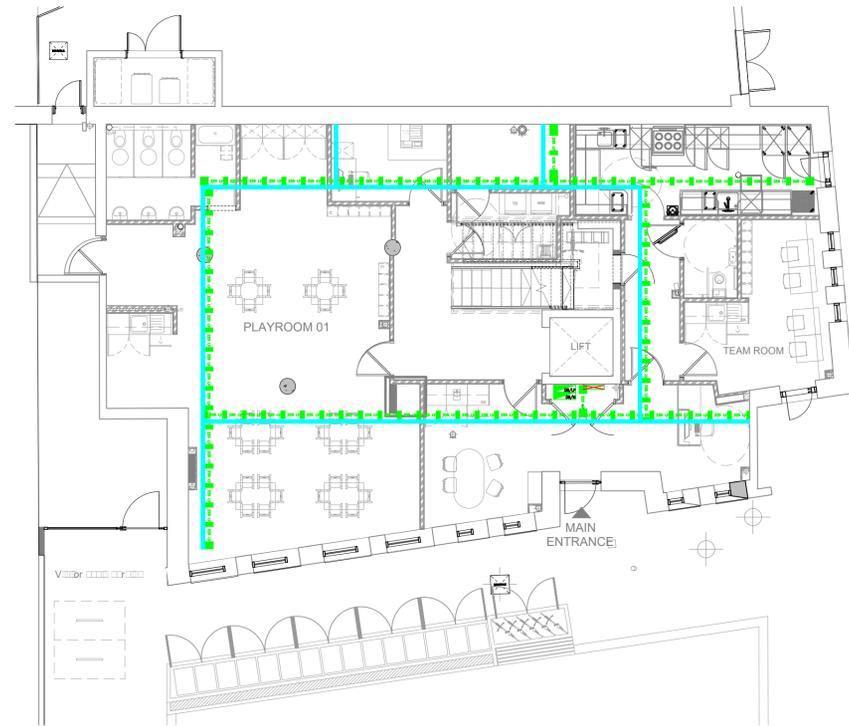
CONSULTANT PROJECT No STATUS REVISION
1433 T 00

NOTES

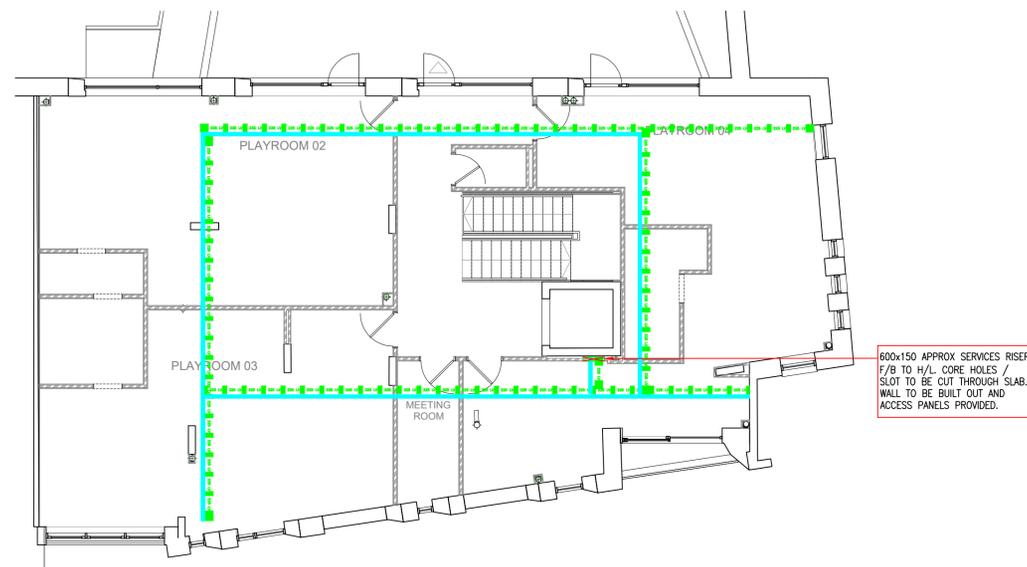
DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.
COPYRIGHT PROTECTED.

- THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL N.F.C. SPECIFICATIONS & ASSOCIATED DESIGN DRAWINGS.
- PRIMARY CONTAINMENT ROUTES ONLY INDICATED. ELECTRICAL SERVICES CONTRACTOR TO ESTABLISH SECONDARY CONTAINMENT IN LINE WITH SPECIFICATION & ARCHITECT'S SETTING OUT DRAWINGS.
- DISTRIBUTION BOARDS TO BE MOUNTED AT 1.00M AFFL TO CENTRE.
- CONTAINMENT SHALL BE LOCATED EITHER WITHIN CEILING VOIDS OR WITHIN BUILDING FABRIC.
 - CONTAINMENT ROUTES DETAILS ARE SUBJECT TO FINAL COORDINATION WITH ALL ASSOCIATED TRADES ON SITE & BUILDING STRUCTURE.
 - STEEL CONDUIT SHALL BE HEAVY GAUGE WELDED MILD STEEL WITH GALVANISED FINISH UNLESS OTHERWISE INDICATED.
 - CONDUIT TRUNKING CABLE TRAY BASKET ACCESSORIES SHALL BE SOURCED FROM A SIMILAR MANUFACTURE & COMPLY WITH BS 4423 EN 0423.
 - CABLE TRAY/BASKET TRUNKING SHALL UTILISE PRE-FABRICATED GUSSETED JUNCTIONS, TEE'S & BENDS.
 - CABLE TRAY/BASKET TRUNKING SHALL BE PROVIDED WITH THE APPROVED EARTH BONDING CONNECTIONS.
- FLEXIBLE CONDUIT SHALL BE GALVANISED MILD STEEL WITH TWINE BACKING & BLACK LSF COVERING IN COMPLIANCE WITH BS 31 EN 0423.
- ALL SERVICES ROUTES ARE DESIGN INTENT ONLY. COORDINATION IS TO BE FURTHER DETAILED & DEMONSTRATED UPON THE PRODUCTION OF WORKING DRAWINGS.
- ALL STRUCTURAL SUPPORTS ARE TO BE AGREED WITH THE STRUCTURAL ENGINEER.
- ADEQUATE ALLOWANCE TO BE MADE FOR FIRE STOPPING OF SERVICE PENETRATIONS THROUGH SLABS, FLOORS AND PARTITIONS.

- LEGEND
- 225mm CABLE BASKET FOR BAND 2 CABLING (LIGHTING, POWER, L.V. CONTROLS).
 - 150mm CABLE BASKET FOR BAND 2 CABLING (LIGHTING, POWER, L.V. CONTROLS).
 - 225mm CABLE BASKET FOR BAND 1 CABLING (SEGREGATED DATA, ALARMS, E.L.V. CONTROLS).
 - 150mm CABLE BASKET FOR BAND 1 CABLING (SEGREGATED DATA, ALARMS, E.L.V. CONTROLS).



GROUND FLOOR



FIRST FLOOR

THE SERVICES INSTALLING CONTRACTOR IS TO BE AWARE THAT THEY ARE FULLY RESPONSIBLE FOR THE DESIGN OF ALL SERVICES SUPPORTS, BRACKETS & FIXINGS FOR ALL ELEMENTS OF THE INSTALLATION. THIS TO INCLUDE SELECTION OF APPROPRIATE BRACKETS / FIXING ETC TO SUIT THE VARIOUS BUILDING FABRIC MATERIALS. IF NECESSARY THE CONTRACTOR TO OBTAIN APPROVAL OF ALL FIXINGS / BRACKETS FROM THE STRUCTURAL ENGINEER.

SAFETY, HEALTH & ENVIRONMENTAL INFORMATION	
IT IS ASSUMED THAT ALL WORKS WILL BE UNDERTAKEN BY A COMPETENT CONTRACTOR USING AN APPROVED METHOD STATEMENT, IN ADDITION TO THE HAZARDS / RISKS NORMALLY ASSOCIATED WITH THE TYPE OF WORKS DETAILED ON THIS DRAWING. PLEASE NOTE THE FOLLOWING ASPECTS:	
INSTALLATION RISKS	NO ADDITIONAL HAZARDS/RISKS PERCEIVED
OPERATION RISKS	NO ADDITIONAL HAZARDS/RISKS PERCEIVED
MAINTENANCE RISKS	NO ADDITIONAL HAZARDS/RISKS PERCEIVED
DEMOLITION / MODIFICATION RISKS	NO ADDITIONAL HAZARDS/RISKS PERCEIVED

REV	DATE	DESCRIPTION	DRAWN	CHECKED



PROJECT
NFC GREENWICH MV

DRAWING
PROPOSED
GROUND & FIRST FLOOR
CONTAINMENT LAYOUT

CONSULTANT
PLENARIUS DESIGN LTD
DISCIPLINE DESCRIPTION
ELECTRICAL
CONSULTANT LOGO

PLENARIUS DESIGN
Tel: 07472 40 40 20
Email: nealer@plenariusdesign.com
Web: www.plenariusdesign.com

SCALE	PAPER SIZE	DATE	DRAWN	CHECKED
1:100	A1	AUG 23	M.C.	M.C.

SITE	DISCIPLINE CODE	DRAWING No
GMV001	E	030

CONSULTANT PROJECT No	STATUS	REVISION
1433	T	00

NOTES

DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.
COPYRIGHT PROTECTED.

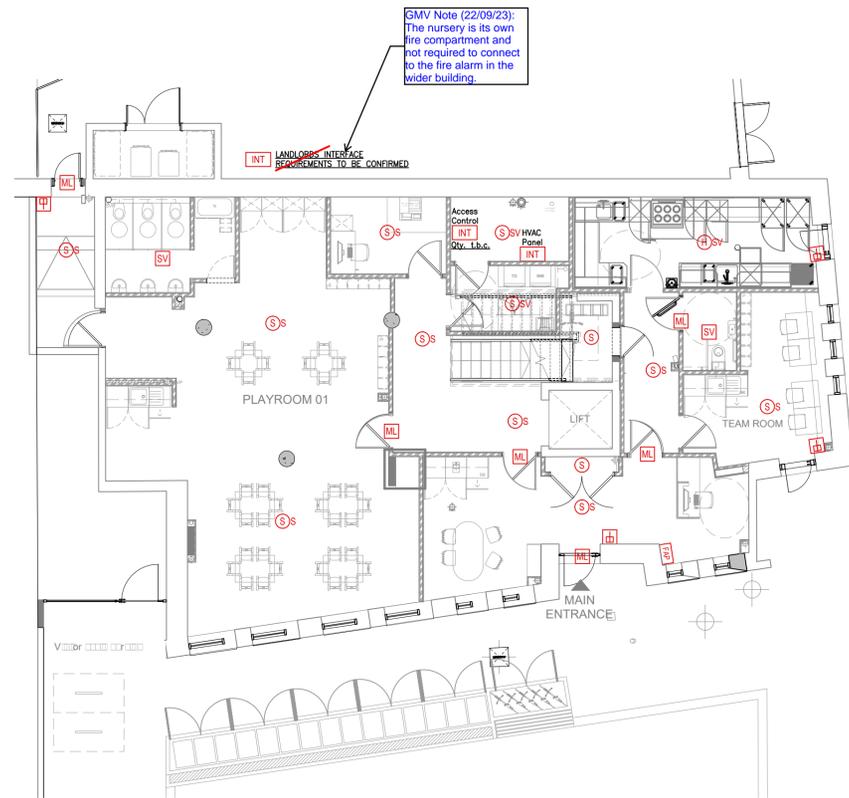
1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH NFC ELECTRICAL SPECIFICATION, CURRENT STANDARDS & CODES OF PRACTICE AND ASSOCIATED DESIGN DRAWINGS.
2. FINAL MOUNTING POSITIONS OF FIRE ALARM EQUIPMENT TO BE AGREED WITH ARCHITECT.
3. THE FIRE ALARM SPECIALIST IS TO CONFIRM THAT THE SUPPLIED SOUNDERS WILL MEET THE AUDIBILITY REQUIREMENTS OF BS 5833. PROVISION SHALL BE MADE FOR ADDITIONAL SOUNDERS SHOULD THEY BE REQUIRED.
4. THE FIRE ALARM SPECIALIST IS TO DETAIL DEVICE NUMBERS TO WORKING AND 'AS FITTED' DRAWINGS.
 - CALL POINTS TO BE SUPPLIED AND FITTED WITH CLEAR HINGED COVERS TO PREVENT ACCIDENTAL ACTIVATION.
 - LOOP ISOLATORS TO BE PROVIDED TO MEET THE REQUIREMENTS OF BS 5833.
 - FIRE ALARM CABLEING TO BE FP 200 GOLD AS SPECIFIED IN BS 5833 WITH LSF SHEATH AND COLOURED RED.
 - ALL VERTICAL DROPS TO BE IN GALVANISED CONDUIT.
 - THE FIRE ALARM SPECIALIST SHALL MAKE PROVISION TO PROVIDE FIRE ALARM INTERFACES AND CARRY OUT FINAL CONNECTIONS TO THE FOLLOWING EQUIPMENT:
 - ACCESS CONTROLLED DOORS TO DISENGAGE UPON FIRE ALARM ACTIVATION.
 - AUTO DOOR CONTROLS TO DISENGAGE AND CLOSE UPON FIRE ALARM ACTIVATION.
 - MECHANICAL CONTROL PLANT TO SHUT DOWN AS REQUIRED.
 - AUTO DIAL OUT TO REMOTE MONITORING STATION AS PER AGREED CAUSE & EFFECT.
 - FIRE CURTAIN CONTROL TO CLOSE ON FIRE ACTIVATION.
10. PRIOR TO PRACTICAL COMPLETION THE FIRE ALARM SPECIALIST SHALL ISSUE ALL ASSOCIATED DOCUMENTATION TO COMPLY WITH BS 5833 PART 1.
11. ALL SERVICES ROUTES ARE DESIGN INTENT ONLY. COORDINATION IS TO BE FURTHER DETAILED & DEMONSTRATED UPON THE PRODUCTION OF WORKING DRAWINGS.
12. ALL STRUCTURAL SUPPORTS ARE TO BE AGREED WITH THE STRUCTURAL ENGINEER.
13. ADEQUATE ALLOWANCE TO BE MADE FOR FIRE STOPPING OF SERVICE PENETRATIONS THROUGH SLABS, FLOORS AND PARTITIONS.
14. THE BUILDING IS LISTED AND ALL MEP INSTALLATIONS ARE TO CONSIDER PRESERVATION OF THE BUILDING FABRIC AND ADVICE GIVEN WITHIN THE N FAMILY LISTED BUILDING SCOPE OF WORKS & MEP LISTED BUILDING SERVICES STATEMENT.

LEGEND

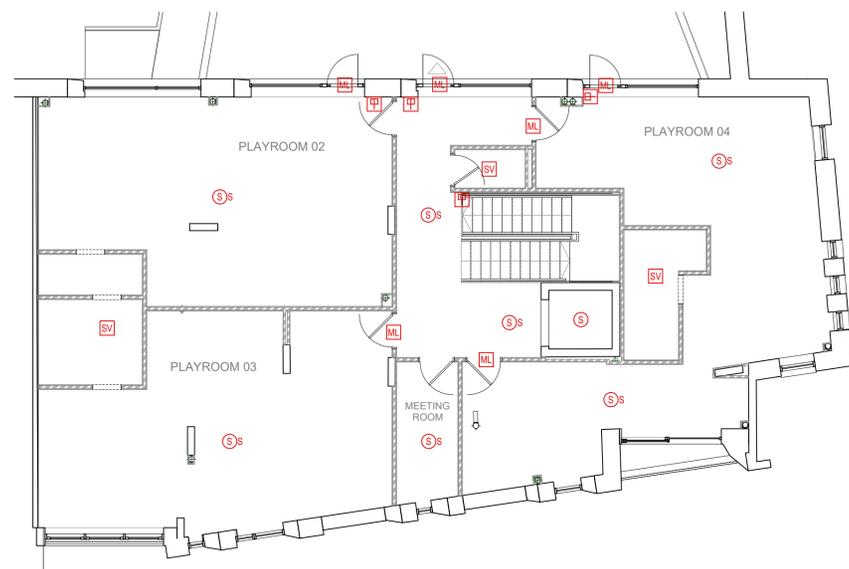
(H)SV	HEAT DETECTOR C/W SOUNDER/VAD BASE
(S)SV	SMOKE DETECTOR C/W SOUNDER/VAD BASE
(S)S	SMOKE DETECTOR C/W SOUNDER BASE
(S)	SMOKE DETECTOR
(SV)	SOUNDER / VAD
(ML)	MAGLOCK FITTED (INTERFACE ADJACENT TO CONTROLLER)
(FAP)	FIRE ALARM PANEL
(INT)	FIRE ALARM RELAY INTERFACE UNIT
(CP)	FIRE ALARM CALL POINT C/W HINGED COVER

VOIDS EXCEEDING 800mm TO HAVE VOID DETECTION PROVIDED

FIRE ALARM DESIGN INDICATIVE.
FIRE ALARM DESIGN & INSTALLATION
BY CLIENT APPOINTED SPECIALIST
(SERTA)



GROUND FLOOR



FIRST FLOOR

THE SERVICES INSTALLING CONTRACTOR IS TO BE AWARE THAT THEY ARE FULLY RESPONSIBLE FOR THE DESIGN OF ALL SERVICES SUPPORTS, BRACKETS & FIXINGS FOR ALL ELEMENTS OF THE INSTALLATION. THIS TO INCLUDE SELECTION OF APPROPRIATE BRACKETS / FIXING ETC TO SUIT THE VARIOUS BUILDING FABRIC MATERIALS. IF NECESSARY THE CONTRACTOR TO OBTAIN APPROVAL OF ALL FIXINGS / BRACKETS FROM THE STRUCTURAL ENGINEER.

SAFETY, HEALTH & ENVIRONMENTAL INFORMATION	
IT IS ASSUMED THAT ALL WORKS WILL BE UNDERTAKEN BY A COMPETENT CONTRACTOR USING AN APPROVED METHOD STATEMENT. IN ADDITION TO THE HAZARDS / RISKS NORMALLY ASSOCIATED WITH THE TYPE OF WORKS DETAILED ON THIS DRAWING, PLEASE NOTE THE FOLLOWING ASPECTS:	
INSTALLATION RISKS ASBESTOS PRESENT IN BUILDING. REFER TO ASBESTOS SURVEY BEFORE UNDERTAKING ANY WORK.	
OPERATION RISKS ASBESTOS PRESENT IN BUILDING. REFER TO ASBESTOS SURVEY BEFORE UNDERTAKING ANY WORK.	
MAINTENANCE RISKS ASBESTOS PRESENT IN BUILDING. REFER TO ASBESTOS SURVEY BEFORE UNDERTAKING ANY WORK.	
DEMOLITION / MODIFICATION RISKS ASBESTOS PRESENT IN BUILDING. REFER TO ASBESTOS SURVEY BEFORE UNDERTAKING ANY WORK.	

REV	DATE	DESCRIPTION	DRAWN	CHECKED
-----	------	-------------	-------	---------



PROJECT
NFC GREENWICH MV

DRAWING
**TYPICAL
GROUND & FIRST FLOOR
FIRE ALARM LAYOUT**

CONSULTANT
PLENARIUS DESIGN LTD
DISCIPLINE DESCRIPTION
ELECTRICAL

CONSULTANT LOGO

PLENARIUS DESIGN
Tel: 07472 40 40 20
Email: nealer@plenariusdesign.com
Web: www.plenariusdesign.com

SCALE	PAPER SIZE	DATE	DRAWN	CHECKED
1:100	A1	AUG 23	M.C.	M.C.

SITE	DISCIPLINE CODE	DRAWING No
GMV001	E	040

CONSULTANT PROJECT No	STATUS	REVISION
1433	T	00

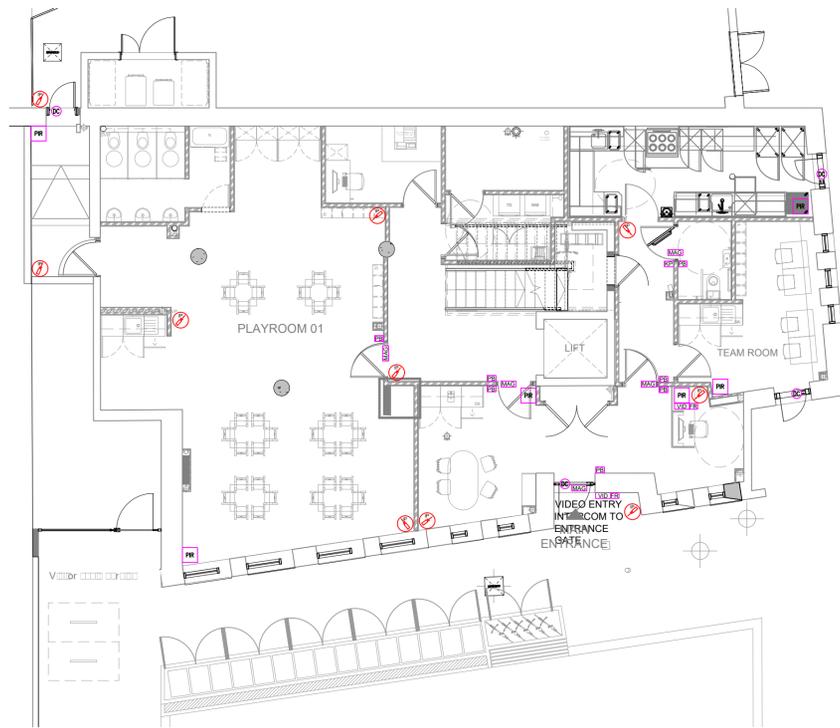
NOTES

DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.
COPYRIGHT PROTECTED.

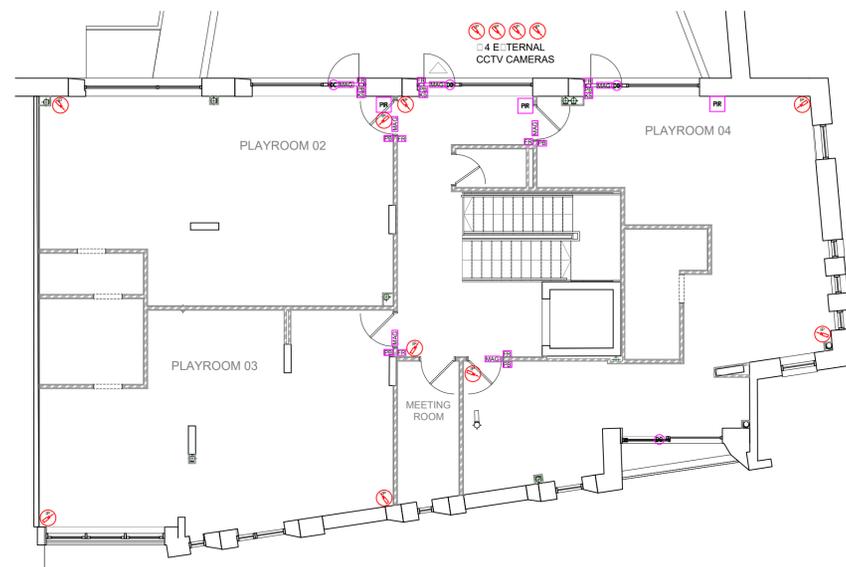
- THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL N.F.C. SPECIFICATIONS, CURRENT STANDARDS, CODES OF PRACTICE AND ASSOCIATED DESIGN DRAWINGS.
- THE ELECTRICAL SERVICES CONTRACTOR SHALL SUPPLY AND INSTALL ALL POWER DISTRIBUTION REQUIREMENTS INCLUDING FIRE EQUIPMENT.
- THE WORKS SHALL BE INCLUSIVE OF ALL CABLING, CONTAINMENT AND TERMINATING AT LOCAL ISOLATORS INCLUDING FINAL CONNECTIONS TO EQUIPMENT WHERE REQUIRED.
- ELECTRICAL OUTLETS SHALL TYPICALLY BE WHITE PLASTIC FINISH.
- ALL WORKS SHALL COMPLY WITH CURRENT EDITION OF BS 7671.
- POWER SUPPLIES - CONTAINMENT FOR SECURITY EQUIPMENT. REFER TO SPECIALIST DESIGN DRAWINGS FOR FINAL REQUIREMENTS.
- PRIOR TO PRACTICAL COMPLETION THE FIRE ALARM SPECIALIST SHALL ISSUE ALL ASSOCIATED COMMISSIONING AND COMPLETION DOCUMENTATION.
- ALL SERVICES ROUTES ARE DESIGN INTENT ONLY. COORDINATION IS TO BE FURTHER DETAILED DEMONSTRATED UPON THE PRODUCTION OF WORKING DRAWINGS.
- ALL STRUCTURAL SUPPORTS ARE TO BE AGREED WITH THE STRUCTURAL ENGINEER.
- ADEQUATE ALLOWANCE TO BE MADE FOR FIRE STOPPING OF SERVICE PENETRATIONS THROUGH SLABS, FLOORS AND PARTITIONS.
- THE BUILDING IS LISTED AND ALL MEP INSTALLATIONS ARE TO CONSIDER PRESERVATION OF THE BUILDING FABRIC AND ADVICE GIVEN WITHIN THE N FAMILY LISTED BUILDING SCOPE OF WORKS - MEP LISTED BUILDING SERVICES STATEMENT.

ACCESS CONTROL		CCTV	
FR	FOB READER	SD	C.C.T.V. STATIC DOME CAMERA IP
PR	PUSH TO EXIT	NVR	C.C.T.V. VIDEO RECORDER
MAG	MAG LOCK	INTRUDER	
KS	KEYSWITCH OVER-RIDE	DC	INTRUDER ALARM DOOR CONTACT
EP	ELECTRONIC KEYPAD	PIR	PROXIMITY DETECTOR
VAC	VIDEO ACCESS CONTROL PANEL		

SECURITY DESIGN FOR REFERENCE ONLY.
FINAL DESIGN INFORMATION TO BE PROVIDED
BY SERTA (CLIENT APPOINTED INSTALLER)



GROUND FLOOR



FIRST FLOOR

THE SERVICES INSTALLING CONTRACTOR IS TO BE AWARE THAT THEY ARE FULLY RESPONSIBLE FOR THE DESIGN OF ALL SERVICES SUPPORTS, BRACKETS & FIXINGS FOR ALL ELEMENTS OF THE INSTALLATION. THIS TO INCLUDE SELECTION OF APPROPRIATE BRACKETS / FIXING ETC TO SUIT THE VARIOUS BUILDING FABRIC MATERIALS. IF NECESSARY THE CONTRACTOR TO OBTAIN APPROVAL OF ALL FIXINGS / BRACKETS FROM THE STRUCTURAL ENGINEER.

SAFETY, HEALTH & ENVIRONMENTAL INFORMATION
IT IS ASSUMED THAT ALL WORKS WILL BE UNDERTAKEN BY A COMPETENT CONTRACTOR USING AN APPROVED METHOD STATEMENT. IN ADDITION TO THE HAZARDS / RISKS NORMALLY ASSOCIATED WITH THE TYPE OF WORKS DETAILED ON THIS DRAWING, PLEASE NOTE THE FOLLOWING ASPECTS:

INSTALLATION RISKS
NO ADDITIONAL HAZARDS/RISKS PERCEIVED

OPERATION RISKS
NO ADDITIONAL HAZARDS/RISKS PERCEIVED

MAINTENANCE RISKS
NO ADDITIONAL HAZARDS/RISKS PERCEIVED

DEMOLITION / MODIFICATION RISKS
NO ADDITIONAL HAZARDS/RISKS PERCEIVED

REV	DATE	DESCRIPTION	DRAWN	CHECKED



PROJECT
NFC GREENWICH MV

DRAWING
TYPICAL GROUND FLOOR SECURITY LAYOUT

CONSULTANT
PLENARIUS DESIGN LTD
DISCIPLINE DESCRIPTION
ELECTRICAL

CONSULTANT LOGO
PLENARIUS DESIGN
Tel: 07472 40 40 20
Email: nealer@plenariusdesign.com
Web: www.plenariusdesign.com

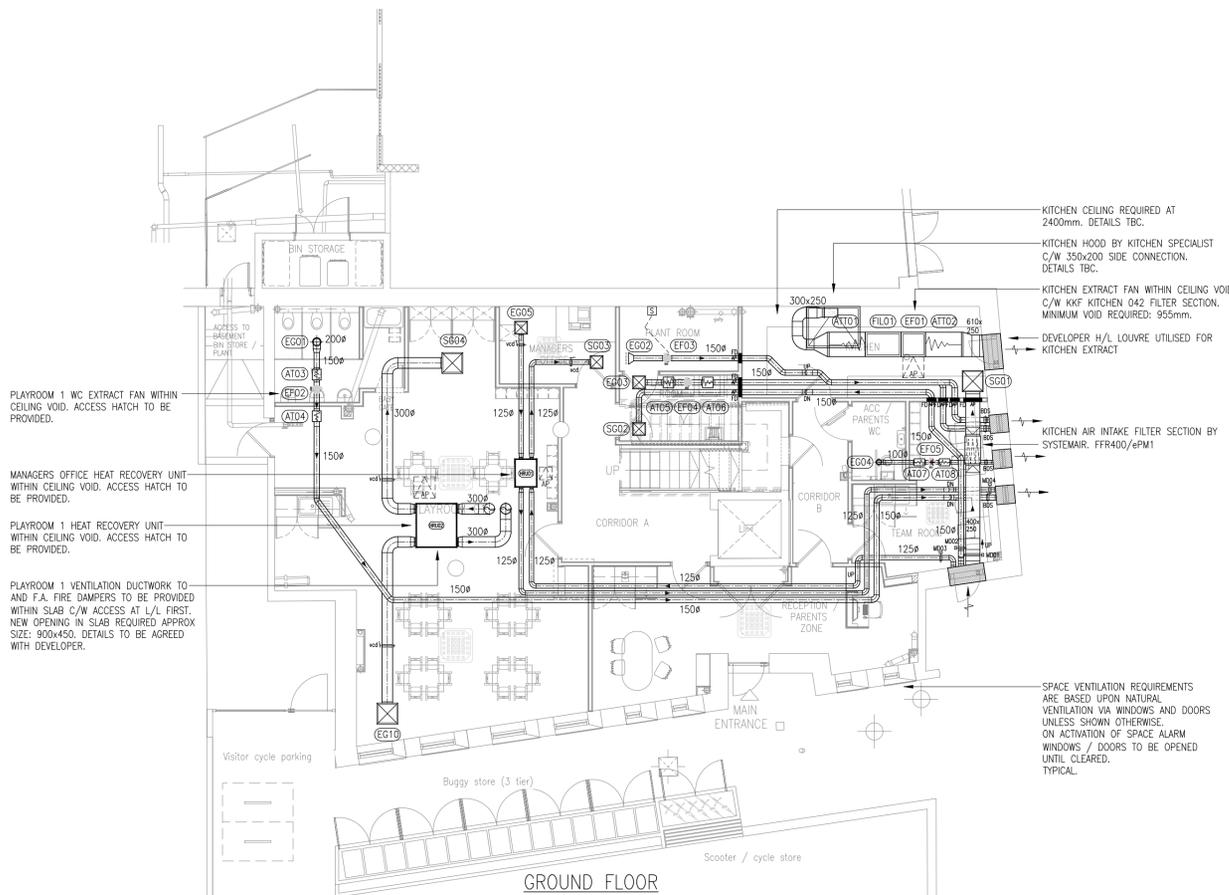
SCALE	PAPER SIZE	DATE	DRAWN	CHECKED
1:100	A1	AUG 23	M.C.	M.C.

SITE	DISCIPLINE CODE	DRAWING No
GMV001	E	000

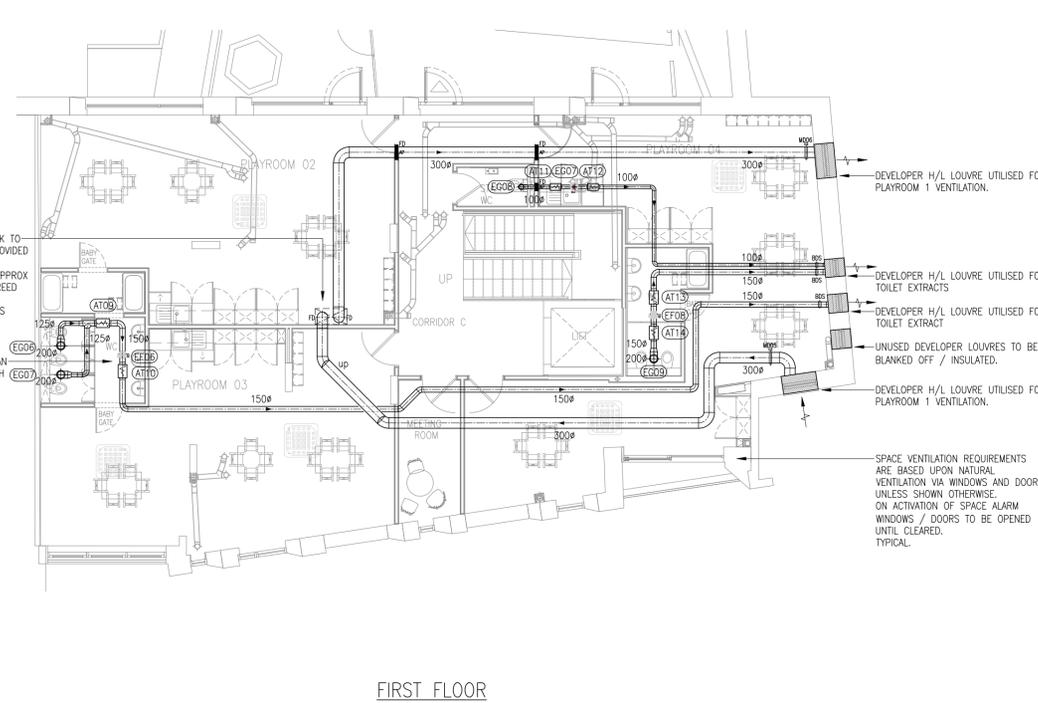
CONSULTANT PROJECT No	STATUS	REVISION
1433	T	00

DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED ON SITE. COPYRIGHT PROTECTED.

- ALL MECHANICAL SERVICES ARE TO BE FULLY CO-ORDINATED WITH THE ELECTRICAL SERVICES.
- ALL FIRE DAMPERS SHALL BE INSTALLED TO MEET THE REQUIREMENTS OF BS5588 pt 9 AND SHALL BE INDEPENDENTLY SUPPORTED. ALL DAMPERS TO BE PROVIDED WITH ACCESS PANELS WITHIN THE DUCTWORK AND CEILINGS TO PROVIDE UNOBSTRUCTED ACCESS. ALL FIRE DAMPER POSITIONS TO BE CONFIRMED BY ARCHITECT / BUILDING CONTROL.
- FLEXIBLE DUCT CONNECTIONS TO AIR TERMINALS SHALL NOT EXCEED 500mm IN LENGTH.
- ALL HVAC PLANT SHALL BE FULLY LABELED / IDENTIFIED.
- ACCESS PANELS THROUGH SOLID CEILINGS REQUIRED FOR MECHANICAL SERVICES ACCESS. MECHANICAL CONTRACTOR TO CONFIRM FINAL LOCATIONS AND NUMBER TO SUIT INSTALLED SERVICES.
- ALL CIRCULAR DUCTWORK IS TO BE SPIRALLY WOUND.
- AC PIPEWORK TO BE SUPPORTED UPON CABLE TRAY IN ALL AREAS.
- ALL DUCTWORK TO BE PROVIDED WITH ADEQUATE CLEANING ACCESS DOORS TO BE LOCATED AT EVERY VOID, FIRE DAMPER, ATTENUATOR, CHANGE OF DIRECTION AND MINIMUM EVERY 10m.
- CLEAR UNOBSTRUCTED ACCESS MUST BE MAINTAINED TO HIGH LEVEL FANS, VALVES, DAMPERS AND ACCESS PANELS FOR INSTALLATION AND FUTURE MAINTENANCE.
- ATTENUATION REQUIREMENTS TO BE IN ACCORDANCE WITH THE PROJECT ACOUSTIC REPORT.
- ALL SERVICES ROUTES SHOWN ARE DESIGN INTENT ONLY. CO-ORDINATION IS TO BE FURTHER DETAILED / DEMONSTRATED UPON THE PRODUCTION OF WORKING DRAWINGS.
- ALL PROPOSED SUPPORT DETAILS ARE TO BE AGREED WITH THE STRUCTURAL ENGINEER.
- ADEQUATE ALLOWANCE IS TO BE MADE FOR FIRE STOPPING OF SERVICES PENETRATIONS THROUGH SLABS, FLOORS AND PARTITIONS.
- REFERENCE SHALL BE MADE TO ALL N FAMILY CLUB SPECIFICATIONS.



KITCHEN CEILING REQUIRED AT 2400mm. DETAILS TBC.
 KITCHEN HOOD BY KITCHEN SPECIALIST C/W 350x200 SIDE CONNECTION. DETAILS TBC.
 KITCHEN EXTRACT FAN WITHIN CEILING VOID. C/W KKF KITCHEN 042 FILTER SECTION. MINIMUM VOID REQUIRED: 955mm.
 DEVELOPER H/L LOUVER UTILISED FOR KITCHEN EXTRACT
 KITCHEN AIR INTAKE FILTER SECTION BY SYSTEMAIR. FFR400/4PM1
 PLAYROOM 1 VENTILATION DUCTWORK TO AND F.B. FIRE DAMPERS TO BE PROVIDED WITHIN SLAB C/W ACCESS AT L/L. FIRST NEW OPENING IN SLAB REQUIRED APPROX SIZE: 900x450. DETAILS TO BE AGREED WITH DEVELOPER.
 PLAYROOMS 2 & 3 WC EXTRACT FAN WITHIN CEILING VOID. ACCESS HATCH TO BE PROVIDED.
 SPACE VENTILATION REQUIREMENTS ARE BASED UPON NATURAL VENTILATION VIA WINDOWS AND DOORS UNLESS SHOWN OTHERWISE. ON ACTIVATION OF SPACE ALARM WINDOWS / DOORS TO BE OPENED UNTIL CLEARED. TYPICAL.



PLAYROOM 1 VENTILATION DUCTWORK TO AND F.B. FIRE DAMPERS TO BE PROVIDED WITHIN SLAB C/W ACCESS AT L/L. FIRST NEW OPENING IN SLAB REQUIRED APPROX SIZE: 900x450. DETAILS TO BE AGREED WITH DEVELOPER.
 BOUNDS IN REQUIRED TO ARCHITECTS DETAILS.
 PLAYROOMS 2 & 3 WC EXTRACT FAN WITHIN CEILING VOID. ACCESS HATCH TO BE PROVIDED.
 SPACE VENTILATION REQUIREMENTS ARE BASED UPON NATURAL VENTILATION VIA WINDOWS AND DOORS UNLESS SHOWN OTHERWISE. ON ACTIVATION OF SPACE ALARM WINDOWS / DOORS TO BE OPENED UNTIL CLEARED. TYPICAL.

02				
01				
REV DATE	DESCRIPTION	DRAWN	CHECKED	
LOCATION FIGURE				

EXTRACT FAN SCHEDULE											
REF. No.	AREA SERVED	MODEL	DUTY (m³/s @ Pa)	SPECIFIC FAN POWER (SFP) w/l/s	MANUFACTURER	ACOUSTIC INFORMATION (SOUND PRESS. LEVEL)	ELECTRICAL INFORMATION			NOTES	
							PHASE	SC (A)	RC (A)	WEIGHT (kg)	
EF01	GROUND FLOOR KITCHEN	MUB/T 042 355EC	0.27@300Pa	0.711 (WP)	SYSTEMAIR LTD	41dB(A) @ 3M	1	-	2.82	63.5	EXTRACT FAN IN STRAIGHT CONFIGURATION & SYSTEM C/W KKF-KITCHEN 042 FILTER SECTION FLO1
EF02	GROUND FLOOR PLAYROOM 1 WC	K 160EC SILEO	0.040@70Pa	0.302 (WP)	SYSTEMAIR LTD	23dB(A) @ 3M	1	-	0.701	3.3	
EF03	GROUND FLOOR PLANTROOM	K 160EC SILEO	0.050@55Pa	0.258 (WP)	SYSTEMAIR LTD	25dB(A) @ 3M	1	-	0.701	3.3	
EF04	GROUND FLOOR LAUNDRY	K 160EC SILEO	0.050@115Pa	0.411 (WP)	SYSTEMAIR LTD	30dB(A) @ 3M	1	-	0.701	3.3	
EF05	GROUND FLOOR PARENT / ACC WC	K 100EC SILEO	0.016@55Pa	0.453(WP)	SYSTEMAIR LTD	20dB(A) @ 3M	1	-	0.69	2.9	
EF06	FIRST FLOOR PLAYROOMS 2 & 3 WC's	K 160EC SILEO	0.060@120Pa	0.398 (WP)	SYSTEMAIR LTD	32dB(A) @ 3M	1	-	0.701	3.3	
EF07	FIRST FLOOR STAFF WC	K 100EC SILEO	0.014@55Pa	0.489 (WP)	SYSTEMAIR LTD	19dB(A) @ 3M	1	-	0.69	2.9	
EF08	FIRST FLOOR PLAYROOM 4 WC's	K 160EC SILEO	0.040@55Pa	0.266(WP)	SYSTEMAIR LTD	21dB(A) @ 3M	1	-	0.701	3.3	
EF09											

- NOTES:-
- FANS TO COMPLY FULLY WITH NFC SPECIFICATION/CONTRACT DOCUMENTATION.
 - ALL MOTORS TO BE FITTED WITH THERMAL PROTECTION.
 - ALL FANS TO BE FITTED WITH BACK DRAUGHT SHUTTERS. IF THESE ARE NOT SUPPLIED WITH THE FAN, THE CONTRACTOR SHALL SUPPLY & FIT AS A SEPARATE ITEM.
 - ALL FANS TO COME TO SITE FULLY LABELLED.
 - FANS TO BE FITTED WITH FLYING LEAD 600mm min FROM MOTOR TO ISOLATOR EXTERNAL TO UNIT BY OTHERS.
 - FOR ELECTRICAL DATA ON FANS REFER TO CONTROLS SCHEMATIC. ALL MOTORS OVER 5kW TO BE STAR DELTA STARTING.
 - EXTRACT FANS C/W INLINE ATTENUATORS. REFER TO ATTENUATOR SCHEDULE / MECHANICAL LAYOUT DRAWING FOR DETAILS.
 - ALL FANS C/W POTENTIOMETER SPEED CONTROLLERS MANUFACTURERS:- SYSTEMAIR LTD

EXTRACT GRILLE SCHEDULE						
REF. No.	AREA SERVED	MODEL	DUTY (l/s)	NECK SIZE (mmxmm)	O/A SIZE (mmxmm)	COMMENTS
EG01	GROUND FLOOR PLAYROOM 1 WC's	GXD200	40	200ø	241ø	REFER TO NOTE 1
EG02	GROUND FLOOR PLANTROOM	---	50	150ø	---	REFER TO NOTE 3
EG03	GROUND FLOOR LAUNDRY	DG4A	50	225x225	369x369	REFER TO NOTE 1/2
EG04	GROUND FLOOR PARENT / ACC WC	GXD125	16	125ø	160ø	REFER TO NOTE 1
EG05	GROUND FLOOR MANAGERS OFFICE	DG4A	20	225x225	369x369	REFER TO NOTE 1/2
EG06	FIRST FLOOR PLAYROOMS 2 & 3 WC's	GXD200	30	200ø	241ø	REFER TO NOTE 1
EG07	FIRST FLOOR PLAYROOMS 2 & 3 WC's	GXD200	30	200ø	241ø	REFER TO NOTE 1
EG08	FIRST FLOOR STAFF WC	GXD125	10	125ø	160ø	REFER TO NOTE 1
EG09	FIRST FLOOR PLAYROOM 4 WC's	GXD200	40	200ø	241ø	REFER TO NOTE 1
EG10	GROUND FLOOR PLAYROOM 1	DG4A	180	450x450	594x594	REFER TO NOTE 1/2

- NOTES:-
- ALL FINISHES/GRILLE COLOURS ARE TO BE CONFIRMED BY ARCHITECT PRIOR TO ORDERING.
 - GRILLE TO BE PROVIDED C/W SHEET METAL PLENUM BOX. SPOOT CONNECTION SIZE & LOCATION TO BE AS INDICATED ON THE LAYOUT DRAWINGS. (AS MANUFACTURED BY THE DUCTWORK CONTRACTOR).
 - DUCTWORK TO TERMINATE WITH BELLMOUTH & MESH GRILLE AS MANUFACTURED BY DUCTWORK CONTRACTOR.
 - MANUFACTURER - GILBERTS (OR EQUAL AND APPROVED). TEL: 01253 766911

ATTENUATOR SCHEDULE					
REF. No.	UNIT	AREA SERVED	DUCT SIZE (mmxmm)	DUTY (m³/s)	NOISE LEVEL LAeq,30mins dB
AT01	EF01	GROUND FLOOR KITCHEN	350x200 MELINEX LINED	0.27	45
AT02	EF01	GROUND FLOOR KITCHEN	SYSTEMAIR MELINEX LINED	0.27	TO SUIT ACOUSTIC REPORT
AT03	EF02	GROUND FLOOR PLAYROOM 1 WC's	150ø	0.040	35
AT04	EF02	GROUND FLOOR PLAYROOM 1 WC's	150ø	0.040	35
AT05	EF04	GROUND FLOOR LAUNDRY	150ø	0.050	35
AT06	EF04	GROUND FLOOR LAUNDRY	150ø	0.050	35
AT07	EF05	GROUND FLOOR PARENT / ACC WC	100ø	0.016	35
AT08	EF05	GROUND FLOOR PARENT / ACC WC	100ø	0.016	35
AT09	EF06	FIRST FLOOR PLAYROOMS 2 & 3 WC's	150ø	0.060	35
AT10	EF06	FIRST FLOOR PLAYROOMS 2 & 3 WC's	150ø	0.060	35
AT11	EF07	FIRST FLOOR STAFF WC	100ø	0.010	35
AT12	EF07	FIRST FLOOR STAFF WC	100ø	0.010	35
AT13	EF08	FIRST FLOOR PLAYROOM 4 WC's	150ø	0.040	35
AT14	EF08	FIRST FLOOR PLAYROOM 4 WC's	150ø	0.040	35

- NOTES:-
- SIZES SHOWN ARE DUCT SIZES AND NOT NECESSARILY THE ATTENUATOR CROSS SECTION SIZE, THEREFORE ALLOWANCE TO BE MADE FOR TRANSFORMATION SECTIONS EACH SIDE OF ATTENUATOR.
 - DUCTWORK BETWEEN FAN AND ATTENUATOR TO BE ACOUSTICALLY INSULATED.
 - THE MECHANICAL CONTRACTOR SHALL WORK WITH THE ACOUSTIC SPECIALIST TO SELECT THE MOST APPROPRIATE ATTENUATOR AS LISTED ABOVE IN LINE WITH THE NOISE LEVELS REQUIRED WITHIN THE SPACE.
 - ACOUSTIC REQUIREMENTS / ATTENUATOR SELECTIONS ALSO TO BE READ IN CONJUNCTION WITH PROJECT ACOUSTIC REPORT / B893.
 - CONTACT: "SPACE ACOUSTIC AIR MOVEMENT LTD" TEL: 01483 822975 (OR EQUAL & APPROVED)

IN DUCT MOTORISED DAMPER SCHEDULE			
REF. No.	AREA SERVED	SIZE (LxH) (mmxmm)	COMMENTS
MD01	GROUND FLOOR KITCHEN	400x250	AIR TIGHT CLOSURE
MD02	GROUND FLOOR LAUNDRY	150ø	AIR TIGHT CLOSURE
MD03	GROUND FLOOR MANAGERS OFFICE HRU01	125ø	AIR TIGHT CLOSURE
MD04	GROUND FLOOR MANAGERS OFFICE HRU01	125ø	AIR TIGHT CLOSURE
MD05	GROUND FLOOR PLAYROOM 1 HRU02	300ø	AIR TIGHT CLOSURE
MD06	GROUND FLOOR PLAYROOM 1 HRU02	300ø	AIR TIGHT CLOSURE

- NOTES:-
- MANUFACTURER:- BELIMO Ltd OR EQUAL & APPROVED

SUPPLY GRILLE / DIFFUSER SCHEDULE						
REF. No.	AREA SERVED	MODEL	DUTY (l/s)	NECK SIZE (mmxmm)	O/A SIZE (mmxmm)	COMMENTS
SG01	GROUND FLOOR KITCHEN	K15	270	550x550	595x995	REFER TO NOTE 2
SG02	GROUND FLOOR LAUNDRY	DG4A	50	225x225	369x369	REFER TO NOTE 2
SG03	GROUND FLOOR MANAGERS OFFICE	DG4A	20	225x225	369x369	REFER TO NOTE 2
SG04	GROUND FLOOR PLAYROOM 1	DG4A	180	450x450	594x594	REFER TO NOTE 2

- NOTES:-
- ALL FINISHES/GRILLE COLOURS ARE TO BE CONFIRMED BY ARCHITECT PRIOR TO ORDERING.
 - GRILLE TO BE PROVIDED C/W SHEET METAL PLENUM BOX. SPOOT CONNECTION SIZE & LOCATION TO BE AS INDICATED ON THE LAYOUT DRAWINGS. (AS MANUFACTURED BY THE DUCTWORK CONTRACTOR).
 - DUCTWORK TO TERMINATE WITH BELLMOUTH & MESH GRILLE AS MANUFACTURED BY DUCTWORK CONTRACTOR.
 - MANUFACTURER - GILBERTS (OR EQUAL AND APPROVED) TEL: 01253 766911.

THE SERVICES INSTALLING CONTRACTOR IS TO BE AWARE THAT THEY ARE FULLY RESPONSIBLE FOR THE DESIGN OF ALL SERVICES SUPPORTS, BRACKETS & FIXINGS FOR ALL ELEMENTS OF THE INSTALLATION. THIS TO INCLUDE SELECTION OF APPROPRIATE BRACKETS / FIXINGS ETC TO SUIT THE VARIOUS BUILDING FABRIC MATERIALS. IF NECESSARY THE CONTRACTOR TO OBTAIN APPROVAL OF ALL FIXINGS / BRACKETS FROM THE STRUCTURAL ENGINEER.

SAFETY, HEALTH & ENVIRONMENTAL INFORMATION

IT IS ASSUMED THAT ALL WORK WILL BE UNDERTAKEN BY A COMPETENT CONTRACTOR USING AN APPROVED METHOD STATEMENT IN ADDITION TO THE HAZARDS / RISKS FORMALLY ASSOCIATED WITH THE TYPE OF WORKS DETAILED ON THIS DRAWING. PLEASE NOTE THE FOLLOWING ASPECTS:

INSTALLATION RISKS
NO ADDITIONAL HAZARDS/RISKS PERCEIVED

OPERATION RISKS
NO ADDITIONAL HAZARDS/RISKS PERCEIVED

MAINTENANCE RISKS
NO ADDITIONAL HAZARDS/RISKS PERCEIVED

DEMOLITION / MODIFICATION RISKS
NO ADDITIONAL HAZARDS/RISKS PERCEIVED

PROJECT

N FAMILY CLUB GREENWICH MV

DRAWING

GROUND AND FIRST FLOOR VENTILATION LAYOUT AND EQUIPMENT SCHEDULE

CONSULTANT

PLENARIUS DESIGN LTD
DISCIPLINE: MECHANICAL
CONSULTANT LOGO

TEL: 07472 40 40 20
Email: nealer@plenariusdesign.com
Web: www.plenariusdesign.com

SCALE: 1:100 PAPER SIZE: A1 DATE: AUG 23 DRAWN: C.V. CHECKED: N.R.

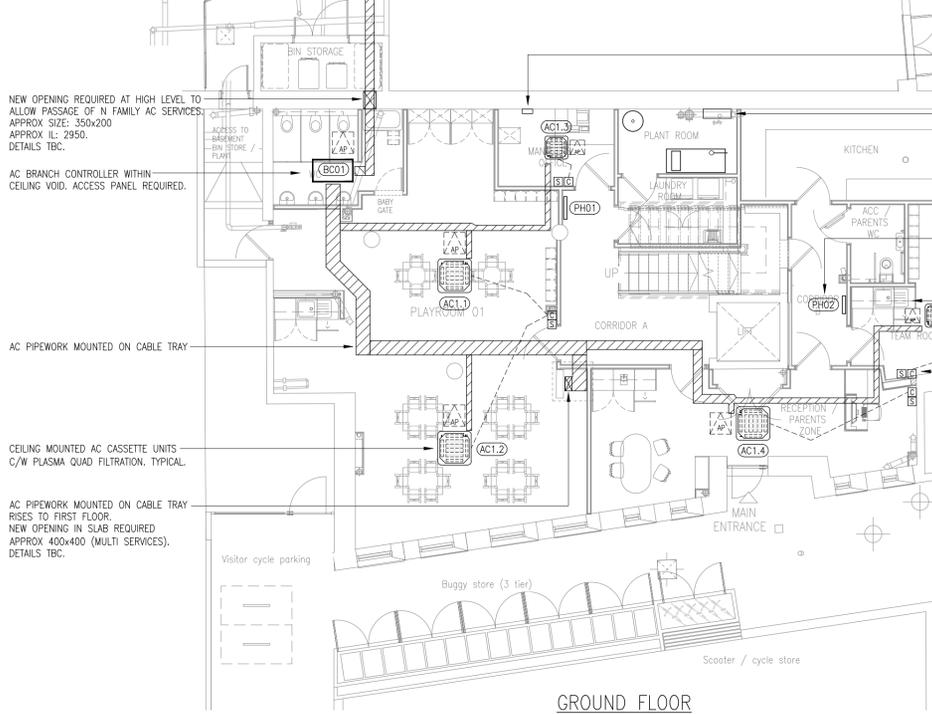
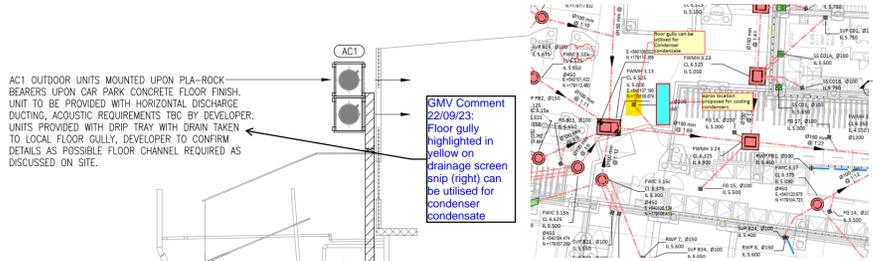
SITE: DISCIPLINE CODE: DRAWING No:

GREENWICH MV M 010

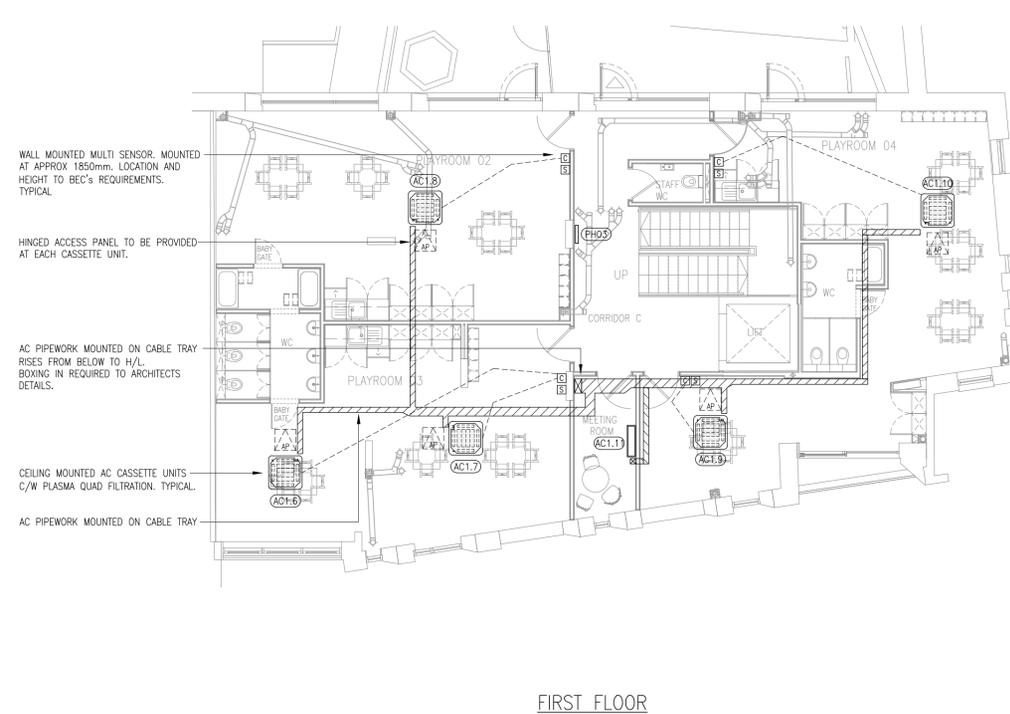
CONSULTANT PROJECT No: 1443 STATUS: T REVISION: 00

DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED ON SITE. COPYRIGHT PROTECTED.

- ALL MECHANICAL SERVICES ARE TO BE FULLY CO-ORDINATED WITH THE ELECTRICAL SERVICES.
- ALL FIRE DAMPERS SHALL BE INSTALLED TO MEET THE REQUIREMENTS OF BS5588 pt 9 AND SHALL BE INDEPENDENTLY SUPPORTED. ALL DAMPERS TO BE PROVIDED WITH ACCESS PANELS WITHIN THE DUCTWORK AND CEILINGS TO PROVIDE UNOBSTRUCTED ACCESS. ALL FIRE DAMPER POSITIONS TO BE CONFIRMED BY ARCHITECT / BUILDING CONTROL.
- FLEXIBLE DUCT CONNECTIONS TO AIR TERMINALS SHALL NOT EXCEED 500mm IN LENGTH.
- ALL HVAC PLANT SHALL BE FULLY LABELED / IDENTIFIED.
- ACCESS PANELS THROUGH SOLID CEILINGS REQUIRED FOR MECHANICAL SERVICES ACCESS. MECHANICAL CONTRACTOR TO CONFIRM FINAL LOCATIONS AND NUMBER TO SUIT INSTALLED SERVICES.
- ALL CIRCULAR DUCTWORK IS TO BE SPIRALLY WOUND.
- AC PIPEWORK TO BE SUPPORTED UPON CABLE TRAY IN ALL AREAS.
- ALL DUCTWORK TO BE PROVIDED WITH ADEQUATE CLEANING ACCESS DOORS TO BE LOCATED AT EVERY 10M, FIRE DAMPER, ATTENUATOR, CHANGE OF DIRECTION AND MINIMUM EVERY 10m.
- CLEAR UNOBSTRUCTED ACCESS MUST BE MAINTAINED TO HIGH LEVEL FANS, VALVES, DAMPERS AND ACCESS PANELS FOR INSTALLATION AND FUTURE MAINTENANCE.
- ATTENTION REQUIREMENTS TO BE IN ACCORDANCE WITH THE PROJECT ACOUSTIC REPORT.
- ALL SERVICES ROUTES SHOWN ARE DESIGN INTENT ONLY. CO-ORDINATION IS TO BE FURTHER DETAILED / DEMONSTRATED UPON THE PRODUCTION OF WORKING DRAWINGS.
- ALL PROPOSED SUPPORT DETAILS ARE TO BE AGREED WITH THE STRUCTURAL ENGINEER.
- ADEQUATE ALLOWANCE IS TO BE MADE FOR FIRE STOPPING OF SERVICES PENETRATIONS THROUGH SLABS, FLOORS AND PARTITIONS.
- REFERENCE SHALL BE MADE TO ALL N FAMILY CLUB SPECIFICATIONS.



DEVELOPER STILL TO CONFIRM EXTENT OF NATURAL / MECHANICAL VENTILATION TO THE CAR PARK AREA & CONFIRM SUFFICIENT FOR THE N FAMILY AC UNITS.



AC / HRU UNIT SCHEDULE																				
REF. No.	AREA SERVED	INDOOR MODEL	No. OFF	INDOOR UNIT SIZE (WxDxH)	WEIGHT (kg)	TOTAL DUTY (COOLING kW)	TOTAL DUTY (HEATING kW)	OUTDOOR MODEL	REFERENCE No.	WEIGHT (kg)	OUTDOOR UNIT SIZE (WxDxH)	WALL CONTROLLER	ACOUSTIC INFO	SCOP	SEER	ELEC DETAILS	COMMENTS			
																PHASE	SC	RC		
AC1	GROUND & FIRST FLOORS		1			50.4	56.5	PURY P450 YSNW-A2	AC1	214 223	920+920x740x1858		55.5dB(A) @ 1m	6.91	12.3	3	8A	16.1A 21.4A	MOUNTED UPON FLA-ROCK BEARERS UPON EXISTING CAR PARK CONCRETE SLAB. OUTDOOR UNIT TO BE PROVIDED WITH DRIP TRAYS. DRAINAGE ROUTE TO GULLY BY DEVELOPER	
AC1.1	GROUND FLOOR PLAYROOM 1	PLFY-M40VEM-E	1	950x950x298	24	4.0	5.0					Y	31dB(A) @ 1m	--	--	1	--	0.32A		
AC1.2	GROUND FLOOR PLAYROOM 1	PLFY-M50VEM-E	1	950x950x298	24	5.0	6.3					Y	31dB(A) @ 1m	--	--	1	--	0.32A		
AC1.3	GROUND FLOOR MANAGERS OFFICE	PLFY-P15VFM-E	1	625x625x255	17	1.5	1.9					Y	30dB(A) @ 1m	--	--	1	--	0.19A		
AC1.4	GROUND FLOOR RECEPTION / PARENTS	PLFY-M50VEM-E	1	950x950x298	24	5.0	6.3					Y	31dB(A) @ 1m	--	--	1	--	0.32A		
AC1.5	GROUND FLOOR TEAM ROOM	PLFY-P40VFM-E	1	625x625x255	17	4.0	5.0					Y	39dB(A) @ 1m	--	--	1	--	0.28A		
AC1.6	FIRST FLOOR PLAYROOM 3	PLFY-M32VEM-E	1	950x950x298	24	3.2	4.0					Y	31dB(A) @ 1m	--	--	1	--	0.32A		
AC1.7	FIRST FLOOR PLAYROOM 3	PLFY-M32VEM-E	1	950x950x298	24	3.2	4.0					Y	31dB(A) @ 1m	--	--	1	--	0.32A		
AC1.8	FIRST FLOOR PLAYROOM 2	PLFY-M63VEM-E	1	950x950x298	26	6.4	8.0					Y	32dB(A) @ 1m	--	--	1	--	0.36A		
AC1.9	FIRST FLOOR PLAYROOM 4	PLFY-M50VEM-E	1	950x950x298	24	5.0	6.3					Y	31dB(A) @ 1m	--	--	1	--	0.32A		
AC1.10	FIRST FLOOR PLAYROOM 4	PLFY-M50VEM-E	1	950x950x298	24	5.0	6.3					Y	31dB(A) @ 1m	--	--	1	--	0.32A		
AC1.11	FIRST FLOOR MEETING ROOM	MSZ-LN18VG	1	890x233x307	15.5	1.8	2.0					Y	45dB(A) @ 1m	--	--	1	--	0.2A	UNIT TO BE PROVIDED WITH LEV KIT FOR VRF SYSTEM CONNECTION.	
BC01	GROUND FLOOR PLAYROOM 1	CMB-M1016V-JA1	1	1135x622x252	68														1.63A	
HRU01	FIRST FLOOR MANAGERS OFFICE	LGH15RVX3-E	1	780x610x289	20								27dB(A) @ 1.5m	--	--	1	--	0.57A	20L/S	
HRU02	GROUND FLOOR PLAYROOM 1	LGH100RVX3-E	1	1231x1144x404	53								35dB(A) @ 1.5m	--	--	1	--	3.77A	180L/S	

- NOTES:-
- ALL CASSETTE TYPE CEILING MOUNTED UNITS TO BE PROVIDED WITH CONDENSATE PUMPS AND FLOAT SWITCH OPERATION (MIN PUMP HEAD 1 METER). CONDENSATE PIPEWORK BY MECHANICAL CONTRACTOR.
 - WALL MOUNTED UNITS WILL REQUIRE SEPARATE CONDENSATE PUMPS (1 PHASE) MANUFACTURER-ASPEN PUMPS, MODEL 1 LITRE H-FLOW, CONTACT No. 01323 848842.
 - ELECTRICAL SUPPLIES TO BE GIVEN TO OUTDOOR UNITS BY ELECTRICAL CONTRACTOR. ANY INTERCONNECTING WIRING IS BY THE SYSTEM INSTALLING CONTRACTOR.
 - REFRIGERATION PIPEWORK TO BE INSULATED AND INSTALLED UPON CABLE TRAY AND BE SUITABLY LABELLED.
 - THE INSTALLING CONTRACTOR IS TO INCLUDE FOR ALL COMMISSIONING, INSTALLATION ETC. COMMISSIONING IS TO INCLUDE FOR ALL AIR ON/OFF TEMPERATURES.
 - INSTALLING CONTRACTOR TO NOTE THAT CONDENSATE PUMP SELECTION IS TO BE BASED ON TOTAL LIFT FROM UNIT WHERE INDICATED UPON THE CONTRACT DRAWINGS.
 - ALL REFRIGERATION PIPEWORK IS TO BE INSULATED WITH 'ARMA FLEX' AND EXTERNAL PIPEWORK INSULATION IS TO BE PAINTED WITH 'ARMA FLEX' HN PAINT TO PROTECT FROM DETERIORATION IN SUNLIGHT.
 - WALL MOUNTED CONTROLLERS TO BE WHITE PAIR-C7015K.
 - MANUFACTURER - MITSUBISHI LONDON TEL: 01737 387170 - JOHN KEEGAN.
 - UNITS TO BE PROVIDED WITH DRAIN PAN.
 - ALL CASSETTE UNITS TO BE PROVIDED WITH PLASMA QUAD FILTRATION AS STANDARD.
 - REFER TO MITSUBISHI QUOTATION REF:-

UNIT HEATER SCHEDULE									
REF. No.	AREA SERVED	MODEL	DUTY (kW)	SIZE (mmLxmmHxmmW)	WEIGHT (kg)	ELECTRICAL		MANUFACTURER	COMMENTS
						SC:- (amps)	FLC:- (amps)		
PH01	GROUND FLOOR CORRIDOR A	PLSTI 100E	1.0	640x430x93	6.0	--	--	CONSORT	COMPLETE WITH 7 DAY PROGRAMMABLE CONTROLS.
PH02	GROUND FLOOR CORRIDOR B	PLSTI 050E	0.5	506x430x93	4.5	--	--	CONSORT	COMPLETE WITH 7 DAY PROGRAMMABLE CONTROLS.
PH03	FIRST FLOOR CORRIDOR C	PLSTI 050E	0.5	506x430x93	4.5	--	--	CONSORT	COMPLETE WITH 7 DAY PROGRAMMABLE CONTROLS.

- NOTE:-
- ELECTRIC LST PANEL HEATERS MANUFACTURERS- CONSORT

THE SERVICES INSTALLING CONTRACTOR IS TO BE AWARE THAT THEY ARE FULLY RESPONSIBLE FOR THE DESIGN OF ALL SERVICES SUPPORTS, BRACKETS & FIXINGS FOR ALL ELEMENTS OF THE INSTALLATION. THIS TO INCLUDE SELECTION OF APPROPRIATE BRACKETS / FIXING ETC TO SUIT THE VARIOUS BUILDING FABRIC MATERIALS. IF NECESSARY THE CONTRACTOR TO OBTAIN APPROVAL OF ALL FIXINGS / BRACKETS FROM THE STRUCTURAL ENGINEER.

SAFETY, HEALTH & ENVIRONMENTAL INFORMATION

IT IS ADVISED THAT ALL WORK WILL BE UNDERTAKEN BY A COMPETENT CONTRACTOR USING AN APPROVED METHOD STATEMENT IN ADDITION TO THE HAZARDS / RISKS INHERENTLY ASSOCIATED WITH THE TYPE OF WORK DETAILED ON THIS DRAWING. PLEASE NOTE THE FOLLOWING ASPECTS:

INSTALLATION RISKS
NO ADDITIONAL HAZARDS/RISKS PERCEIVED

OPERATION RISKS
NO ADDITIONAL HAZARDS/RISKS PERCEIVED

MAINTENANCE RISKS
NO ADDITIONAL HAZARDS/RISKS PERCEIVED

DEMOLITION / MODIFICATION RISKS
NO ADDITIONAL HAZARDS/RISKS PERCEIVED



PROJECT
N FAMILY CLUB GREENWICH MV

DRAWING
GROUND & FIRST FLOOR HEATING & AC LAYOUT & EQUIPMENT SCHEDULES

CONSULTANT
PLENARIUS DESIGN LTD
DISCIPLINE: MECHANICAL
CONSULTANT LOGO

Tel: 07472 40 40 20
Email: nealer@plenariusdesign.com
Web: www.plenariusdesign.com

SCALE PAPER SIZE DATE DRAWN CHECKED
1:100 A1 AUG 23 C.V. N.R.

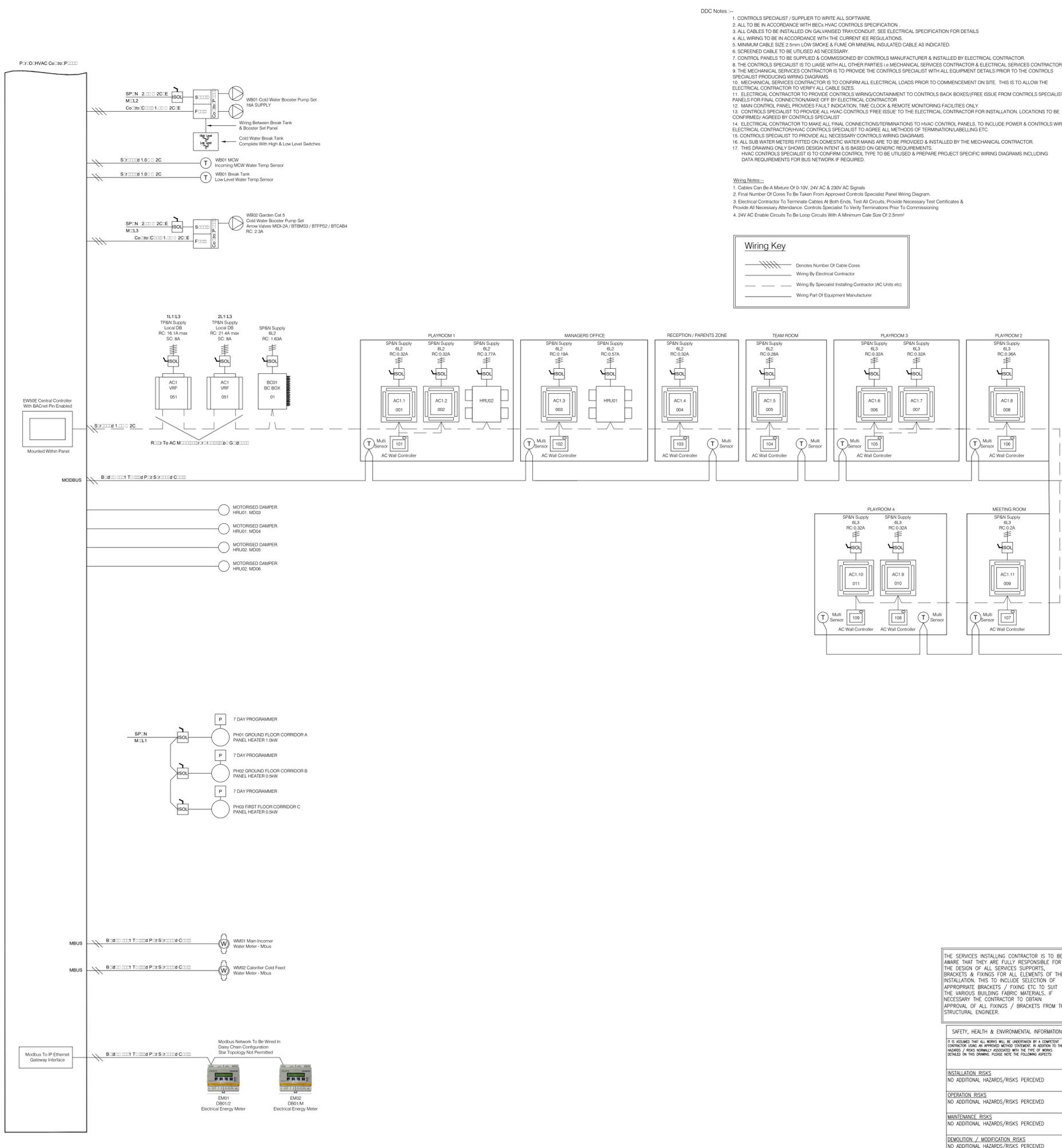
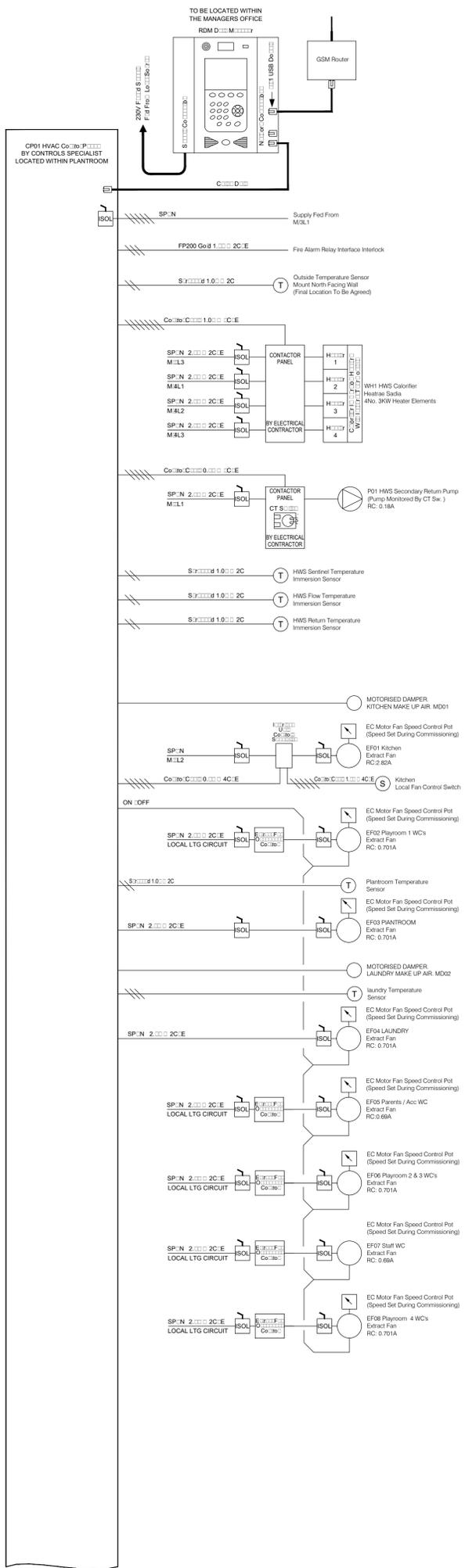
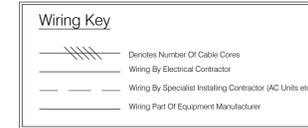
SITE DISCIPLINE CODE DRAWING NO.
GREENWICH MV M 020

CONSULTANT PROJECT No STATUS REVISION
1443 T 00

1. CONTROLS SPECIALIST / SUPPLIER TO WRITE ALL SOFTWARE.
2. ALL TO BE IN ACCORDANCE WITH BEC'S HVAC CONTROLS SPECIFICATION.
3. ALL CABLES TO BE INSTALLED ON GALVANISED TRAY/CONDUIT. SEE ELECTRICAL SPECIFICATION FOR DETAILS.
4. ALL WIRING TO BE IN ACCORDANCE WITH THE CURRENT IEE REGULATIONS.
5. MINIMUM CABLE SIZE 2.5mm LOW SMOKE & FUME OR MINERAL INSULATED CABLE AS INDICATED.
6. SCREENED CABLE TO BE UTILISED AS NECESSARY.
7. CONTROL PANELS TO BE SUPPLIED & COMMISSIONED BY CONTROLS MANUFACTURER & INSTALLED BY ELECTRICAL CONTRACTOR.
8. THE CONTROLS SPECIALIST IS TO Liaise WITH ALL OTHER PARTIES i.e. MECHANICAL SERVICES CONTRACTOR & ELECTRICAL SERVICES CONTRACTOR.
9. THE MECHANICAL SERVICES CONTRACTOR IS TO PROVIDE THE CONTROLS SPECIALIST WITH ALL EQUIPMENT DETAILS PRIOR TO THE CONTROLS SPECIALIST PRODUCING WIRING DIAGRAMS.
10. MECHANICAL SERVICES CONTRACTOR IS TO CONFIRM ALL ELECTRICAL LOADS PRIOR TO COMMENCEMENT ON SITE. THIS IS TO ALLOW THE ELECTRICAL CONTRACTOR TO VERIFY ALL CABLE SIZES.
11. ELECTRICAL CONTRACTOR TO PROVIDE CONTROLS WIRING/CONTAINMENT TO CONTROLS BACK BOXES/FREE ISSUE FROM CONTROLS SPECIALIST/PANELS FOR FINAL CONNECTION/MAKE OFF BY ELECTRICAL CONTRACTOR.
12. MAIN CONTROL PANEL PROVIDES FAULT INDICATION, TIME CLOCK & REMOTE MONITORING FACILITIES ONLY.
13. CONTROLS SPECIALIST TO PROVIDE ALL HVAC CONTROLS FREE ISSUE TO THE ELECTRICAL CONTRACTOR FOR INSTALLATION. LOCATIONS TO BE CONFIRMED/ AGREED BY CONTROLS SPECIALIST.
14. ELECTRICAL CONTRACTOR TO MAKE ALL FINAL CONNECTIONS/TERMINATIONS TO HVAC CONTROL PANELS. TO INCLUDE POWER & CONTROLS WIRING. ELECTRICAL CONTRACTOR/HVAC CONTROLS SPECIALIST TO AGREE ALL METHODS OF TERMINATION/LABELLING ETC.
15. CONTROLS SPECIALIST TO PROVIDE ALL NECESSARY CONTROLS WIRING DIAGRAMS.
16. ALL SUB WATER METERS FITTED ON DOMESTIC WATER MAINS ARE TO BE PROVIDED & INSTALLED BY THE MECHANICAL CONTRACTOR.
17. THIS DRAWING ONLY SHOWS DESIGN INTENT & IS BASED ON GENERIC REQUIREMENTS. HVAC CONTROLS SPECIALIST IS TO CONFIRM CONTROL TYPE TO BE UTILISED & PREPARE PROJECT SPECIFIC WIRING DIAGRAMS INCLUDING DATA REQUIREMENTS FOR BUS NETWORK IF REQUIRED.

Wiring Notes --

1. Cables Can Be A Mixture Of 0-10V, 24V AC & 230V AC Signals
2. Final Number Of Cores To Be Taken From Approved Controls Specialist Panel Wiring Diagram.
3. Electrical Contractor To Terminate Cables At Both Ends, Test All Circuits, Provide Necessary Test Certificates & Provide All Necessary Attendance. Controls Specialist To Verify Terminations Prior To Commissioning
4. 24V AC Enable Circuits To Be Loop Circuits With A Minimum Cable Size Of 2.5mm²



DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED ON SITE. COPYRIGHT PROTECTED.

1. ALL MECHANICAL SERVICES ARE TO BE FULLY CO-ORDINATED WITH THE ELECTRICAL SERVICES.
2. ALL FIRE DAMPERS SHALL BE INSTALLED TO MEET THE REQUIREMENTS OF BS5588 pt 9 AND SHALL BE INDEPENDENTLY SUPPORTED. ALL DAMPERS TO BE PROVIDED WITH ACCESS PANELS WITHIN THE DUCTWORK AND CEILINGS TO PROVIDE UNOBSTRUCTED ACCESS. FLEXIBLE DUCT CONNECTIONS TO AIR TERMINALS SHALL NOT EXCEED 500mm IN LENGTH.
3. ALL MECHANICAL SERVICES PLANT SHALL BE FULLY LABELED / IDENTIFIED.
4. ACCESS PANELS THROUGH SOLID CEILINGS REQUIRED FOR MECHANICAL SERVICES ACCESS. MECHANICAL CONTRACTOR TO CONFIRM FINAL LOCATIONS AND NUMBER TO SUIT INSTALLED SERVICES.
5. ALL CIRCULAR DUCTWORK IS TO BE SPRALLY WOUND.
6. AC PIPEWORK TO BE SUPPORTED UPON CABLE TRAY IN ALL AREAS.
7. ALL DUCTWORK TO BE PROVIDED WITH ADEQUATE CLEANING ACCESS DOORS. TO BE LOCATED AT EVERY VSD, FIRE DAMPER, ATTENUATOR, CHANGE OF DIRECTION AND MINIMUM EVERY 10m.
8. CLEAR UNOBSTRUCTED ACCESS MUST BE MAINTAINED TO HIGH LEVEL FANS, VALVES, DAMPERS AND ACCESS PANELS FOR INSTALLATION AND FUTURE MAINTENANCE.
9. ATTENUATION REQUIREMENTS TO BE IN ACCORDANCE WITH THE PROJECT ACOUSTIC REPORT.
10. CO-ORDINATION IS TO BE FURTHER DETAILED / DEMONSTRATED UPON THE PRODUCTION OF WORKING DRAWINGS.
11. REFERENCE IS TO BE MADE TO ALL N FAMILY SPECIFICATIONS.
12. ALL CONTROLS REQUIREMENTS TO BE AS DETAILED BY BEC'S. DETAILS SHOWN ARE DESIGN INTENT.

REV	DATE	DESCRIPTION	DRAWN	CHECKED
02				
01				



PROJECT

N FAMILY CLUB GREENWICH MV

DRAWING

CONTROLS SCHEMATIC

CONSULTANT
PLENARIUS DESIGN LTD
 DISCIPLINE DESCRIPTION
MECHANICAL
 CONSULTANT LOGO



Tel: 07472 40 40 20
 Email: nealer@plenariusdesign.com
 Web: www.plenariusdesign.com

THE SERVICES INSTALLING CONTRACTOR IS TO BE AWARE THAT THEY ARE FULLY RESPONSIBLE FOR THE DESIGN OF ALL SERVICES SUPPORTS, BRACKETS & FIXINGS FOR ALL ELEMENTS OF THE INSTALLATION. THIS TO INCLUDE SELECTION OF APPROPRIATE BRACKETS / FIXINGS ETC TO SUIT THE VARIOUS BUILDING FABRIC MATERIALS. IF NECESSARY THE CONTRACTOR TO OBTAIN APPROVAL OF ALL FIXINGS / BRACKETS FROM THE STRUCTURAL ENGINEER.

SAFETY, HEALTH & ENVIRONMENTAL INFORMATION

IT IS ASSUMED THAT ALL WORK WILL BE UNDERTAKEN BY A COMPETENT CONTRACTOR USING AN APPROVED METHOD STATEMENT IN ADDITION TO THE WARNINGS / RISKS NORMALLY ASSOCIATED WITH THE TYPE OF WORKS DETAILED ON THIS DRAWING. PLEASE NOTE THE FOLLOWING ASPECTS:

INSTALLATION RISKS	NO ADDITIONAL HAZARDS/RISKS PERCEIVED
OPERATION RISKS	NO ADDITIONAL HAZARDS/RISKS PERCEIVED
MAINTENANCE RISKS	NO ADDITIONAL HAZARDS/RISKS PERCEIVED
DEMOLITION / MODIFICATION RISKS	NO ADDITIONAL HAZARDS/RISKS PERCEIVED

SCALE	PAPER SIZE	DATE	DRAWN	CHECKED
NTS	A1	AUG 23	C.V.	N.R.

SITE

DISCIPLINE CODE DRAWING No

GREENWICH MV M 100

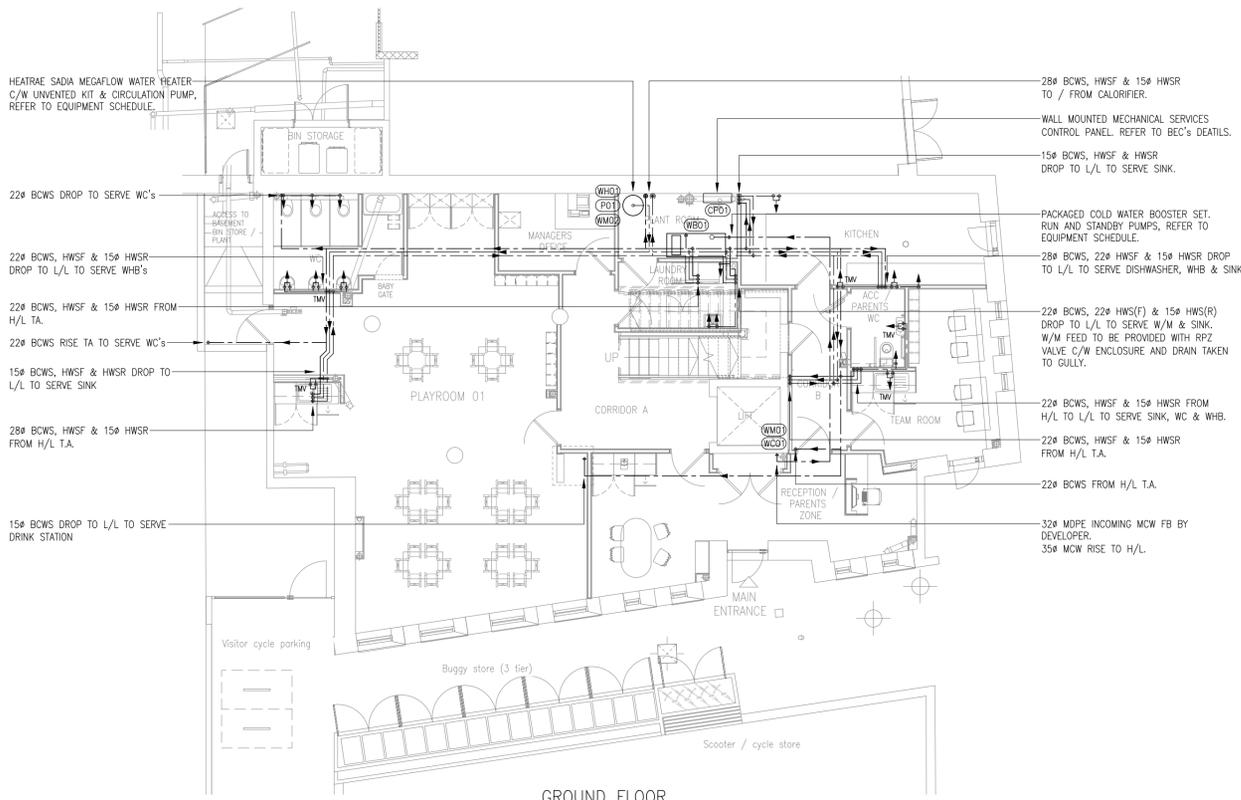
CONSULTANT PROJECT No

1433

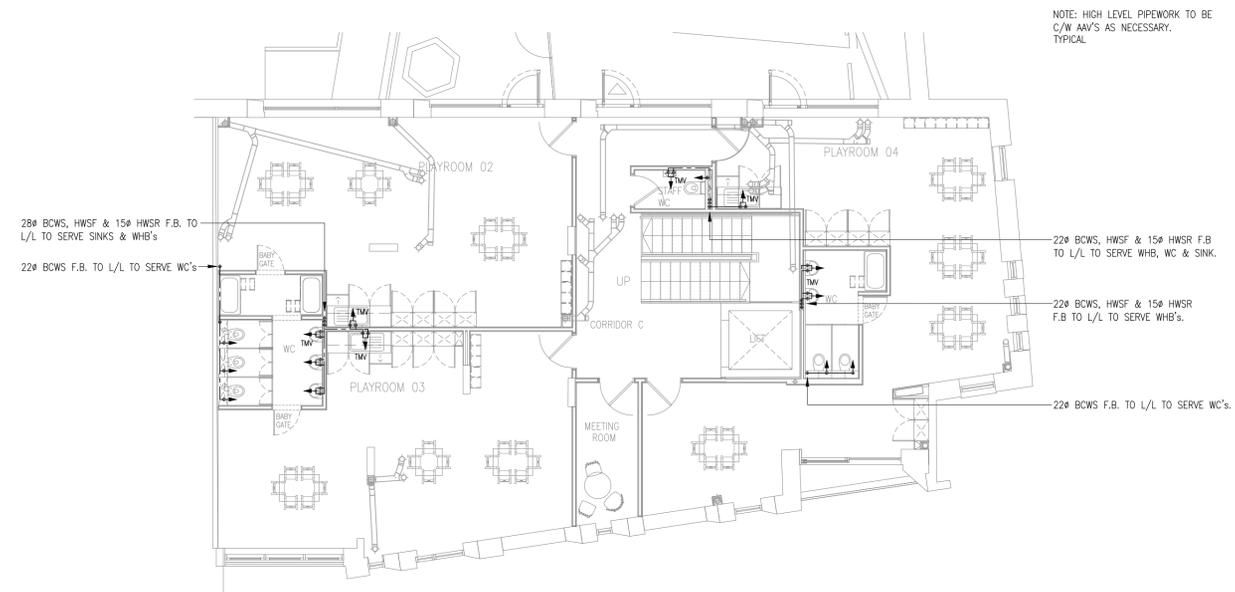
STATUS REVISION

T

DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.
COPYRIGHT PROTECTED.



GROUND FLOOR

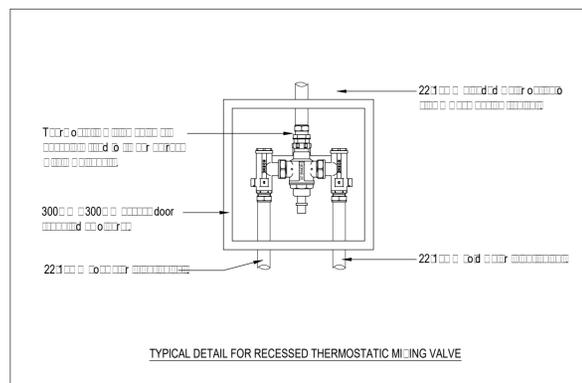


FIRST FLOOR

NOTE: HIGH LEVEL PIPEWORK TO BE C/W AN'S AS NECESSARY. TYPICAL

02			
01			
REV	DATE	DESCRIPTION	DRAWN CHECKED
LOCATION FIGURE			

PUBLIC HEALTH EQUIPMENT SCHEDULE						
REF. No.	LOCATION	ITEM	No. OFF	MANUFACTURER	MODEL	COMMENTS
WC01	GROUND FLOOR PLAYROOM 3	WATER CONDITIONER	1	FLUID DYNAMICS TEL: 01305 520631	SCALETRON SCA35CC	
WM01	GROUND FLOOR PLAYROOM 3	WATER METER	1	DMS TEL: - 01773 534555	ALTAIR SAP1106 V4 32mm METER R315. Fxf,MD,WRAS	WATER METER C/W Mbus OUTPUT UNIT SAP3110 Mbus COMPACT 1 - ALTAIR 2m CABLE
WM02	SECOND FLOOR PLANTROOM HWS COLD FEED	WATER METER	1	DMS TEL: - 01773 534555	ALTAIR SAP1104 V4 25mm METER R315. Fxf,MD,WRAS	WATER METER C/W Mbus OUTPUT UNIT SAP3110 Mbus COMPACT 1 - ALTAIR 2m CABLE
WH01	SECOND FLOOR PLANTROOM	WATER HEATER	1	HEATRAE SADIA TEL: 0344 871 1535	MEGAFLOW ECO 250 DDDD	WATER HEATER TO BE PROVIDED WITH MANUFACTURERS UNVENTED KIT
PO1	SECOND FLOOR PLANTROOM	HWS RETURN PUMP	1	GRUNFOS TEL: 01525 850000	ALPHA 1 20-40 N 150 0.032l/s	TO BE SUITABLE FOR USE ON DOMESTIC HOT WATER
DPO1	GROUND FLOOR PARENT AREA	DRAINAGE PUMP	1	SANIFLO TEL: 0208 842 0033	SANISPEED+ SFA	C/W AUDIBLE ALARM
WB01	GROUND FLOOR PLANTROOM	WATER BOOSTER / TANK SET	1	FLUID SOLUTIONS	AQUA BOOST IT-2-V-12062-MAB-M/24-1050DS	RUN AND STANDBY PUMPS C/W CONTROL PANEL & MODBUS INTERFACE / CONNECTIVITY TO BMS.



TYPICAL DETAIL FOR RECESSED THERMOSTATIC MIXING VALVE

REFERENCE DOCUMENTS

THE INSTALLING MECHANICAL & PUBLIC HEALTH CONTRACTOR SHALL ENSURE THAT ALL DESIGN DRAWINGS ARE READ IN CONJUNCTION WITH THE RELEVANT MEP SPECIFICATIONS AND SCHEDULES, ARCHITECTURAL AND STRUCTURAL DRAWINGS.

NOTES

- ALL CONCEALED PIPEWORK SHALL BE REASONABLY ACCESSIBLE THROUGHOUT ITS LENGTH IN ACCORDANCE WITH THE BUILDING REGULATIONS AND THE CURRENT WATER BYLAWS.
- ACCESS DOORS ARE TO BE PROVIDED OVER ALL VALVES WHEREVER THE SAME MIGHT OTHERWISE BE CONCEALED.
- ALL WATER SERVICES SHALL BE THERMALLY INSULATED, AS A MINIMUM INSULATION SHALL BE PHENOLIC FOAM OF A SUITABLE THICKNESS, ZERO ODP, FOIL FACED. ALL INSULATION TO BE FITTED WITH ID LABELLING AND DIRECTIONAL ARROWS.
- ALL WATER SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE SUPPLY (WATER FITTINGS) REGULATIONS 1999, BS 8558, BS EN 806 AND THE REQUIREMENTS OF THE LOCAL WATER AUTHORITY.
- ALL WATER SERVICE PIPEWORK (EXCEPT WHERE EXPOSED IN FINISHED AREAS) SHALL BE IDENTIFIED USING COLOUR BANDING TO BS 1710 2014.
- ALL WATER SERVICE PIPEWORK SHALL BE PRESSURE TESTED AND DISINFECTED AFTER INSTALLATION AND TO THE REQUIREMENTS OF BS EN806 AND THE REQUIREMENTS OF THE LOCAL WATER AUTHORITY.
- ALL NEW HOT AND COLD WATER SERVICE PIPEWORK SHALL BE INSTALLED IN COPPER TUBE TO BS EN 1057-R250 (BS2871 TABLE X). OTHER THAN FINAL CONNECTIONS, NO COMPRESSION TYPE FITTING ARE TO BE USED.
- ALL OVERFLOW/WARNING PIPES SHALL HAVE LABELS PROVIDED AT THEIR POINT OF DISCHARGE TO DESCRIBE THEIR ORIGIN.
- IT IS A REQUIREMENT THAT THE MECHANICAL SERVICES CONTRACTOR IS TO PRODUCE AN "AS BUILT" WATER SERVICES SCHEMATIC, A COPY OF WHICH IS TO BE PLACED WITHIN A CLEAR FRAME AT A SIZE OF A1 AND MOUNTED ON A WALL WITHIN THE WATER SERVICES PLANTROOM. FINAL LOCATION TO BE AGREED WITH THE CLIENT PRIOR TO PRACTICAL COMPLETION.
- ALL WATER SERVICE PIPEWORK AND VALVES ETC SHALL ONLY BE INSTALLED BY CERTIFIED PLUMBING OPERATIVES OF THE WATER REGULATIONS ADVISORY SERVICE (WRAS).
- ALL TEST CERTIFICATION SHALL BE SHALL BE PROVIDED FOR INSPECTION AND SHALL BE INCLUDED WITHIN THE O&M MANUALS.
- THE CONTRACTOR SHALL NOT INSTALL ANY PIPEWORK SO AS TO RESULT IN 'DEAD-LEGS', THE ROUTING OF ALL NEW PIPEWORK SHALL FULLY COMPLY WITH THE RECOMMENDATIONS OF BS 8558, BS EN 806 & ACOP L8.
- THERMOSTATIC BLENDING VALVES ARE TO BE INSTALLED TO ALL WASH HAND BASINS & SINKS AS SHOWN. ALL VALVES TO BE COMMISSIONING AND SET TO 41°C AND AS REQUIRED UNDER PART G (2016) OF THE BUILDING REGULATIONS. ALL COMMISSIONING CERTIFICATES ARE TO BE INCLUDED WITH THE O&M MANUAL.
- SUITABLE WRAS APPROVED BACK FLOW PREVENTION DEVICES TO BE PROVIDED IN ACCORDANCE WITH EQUIPMENT MANUFACTURERS REQUIREMENTS.
- ALL WATER OUTLET SERVICES TO BE PROVIDED WITH SERVICE ISOLATING VALVES.
- ALL SERVICES SUPPORT DETAILS / REQUIREMENTS TO BE AGREED WITH THE STRUCTURAL ENGINEER.
- SERVICES ROUTES SHOWN ARE DESIGN INTENT ONLY. ALL FINAL ROUTES / BOXING IN / LOCATIONS OF SERVICES SHALL BE AGREED ON SITE PRIOR TO COMMENCEMENT OF WORKS AS REFLECTED WITHIN THE 'WORKING DRAWINGS'
- REFERENCE SHALL BE MADE TO ALL N FAMILY CLUB SPECIFICATIONS.

WATER SERVICES LEGEND

- MCW MAINS COLD WATER
- HWS HOT WATER SUPPLY
- DN NOMINAL DIAMETER
- IV ISOLATING VALVE
- CV CHECK VALVE
- DCV DOUBLE CHECK VALVE
- SV SERVICE VALVE
- DC DRAIN COCK
- PRV PRESSURE REDUCING VALVE
- TPRV TEMPERATURE & PRESSURE RELIEF VALVE
- TMV THERMOSTATIC MIXING VALVE
- TSV THERMOSTATIC SHOWER VALVE
- TBV THERMOSTATIC BALANCING VALVE
- STR STRAINER
- WC WATER CONDITIONER
- WH WATER HEATER
- H/L HIGH LEVEL
- L/L LOW LEVEL
- F/A FROM ABOVE
- T/B TO BELOW
- F/B FROM BELOW
- T/A TO ABOVE
- C/W COMPLETE WITH
- CU COPPER

THE SERVICES INSTALLING CONTRACTOR IS TO BE AWARE THAT THEY ARE FULLY RESPONSIBLE FOR THE DESIGN OF ALL SERVICES SUPPORTS, BRACKETS & FIXINGS FOR ALL ELEMENTS OF THE INSTALLATION. THIS TO INCLUDE SELECTION OF APPROPRIATE BRACKETS / FIXINGS ETC TO SUIT THE VARIOUS BUILDING FABRIC MATERIALS. IF NECESSARY THE CONTRACTOR TO OBTAIN APPROVAL OF ALL FIXINGS / BRACKETS FROM THE STRUCTURAL ENGINEER.

SAFETY, HEALTH & ENVIRONMENTAL INFORMATION	
IT IS ASSUMED THAT ALL WORK WILL BE UNDERTAKEN BY A COMPETENT CONTRACTOR USING AN APPROVED METHOD STATEMENT. IN ADDITION TO THE HAZARDS / RISKS SHOWN / ASSOCIATED WITH THE TYPE OF WORKS DETAILED ON THIS DRAWING PLEASE NOTE THE FOLLOWING ASPECTS:	
INSTALLATION RISKS	NO ADDITIONAL HAZARDS/RISKS PERCEIVED
OPERATION RISKS	NO ADDITIONAL HAZARDS/RISKS PERCEIVED
MAINTENANCE RISKS	NO ADDITIONAL HAZARDS/RISKS PERCEIVED
DEMOLITION / MODIFICATION RISKS	NO ADDITIONAL HAZARDS/RISKS PERCEIVED



PROJECT
**N FAMILY CLUB
GREENWICH MV**

DRAWING
**GROUND FIRST FLOOR
DOMESTIC HOT COLD
WATER LAYOUTS**

CONSULTANT
PLENARIUS DESIGN LTD
DISCIPLINE DESCRIPTION
PUBLIC HEALTH
CONSULTANT LOGO



Tel: 07472 40 40 20
Email: nealer@plenariusdesign.com
Web: www.plenariusdesign.com

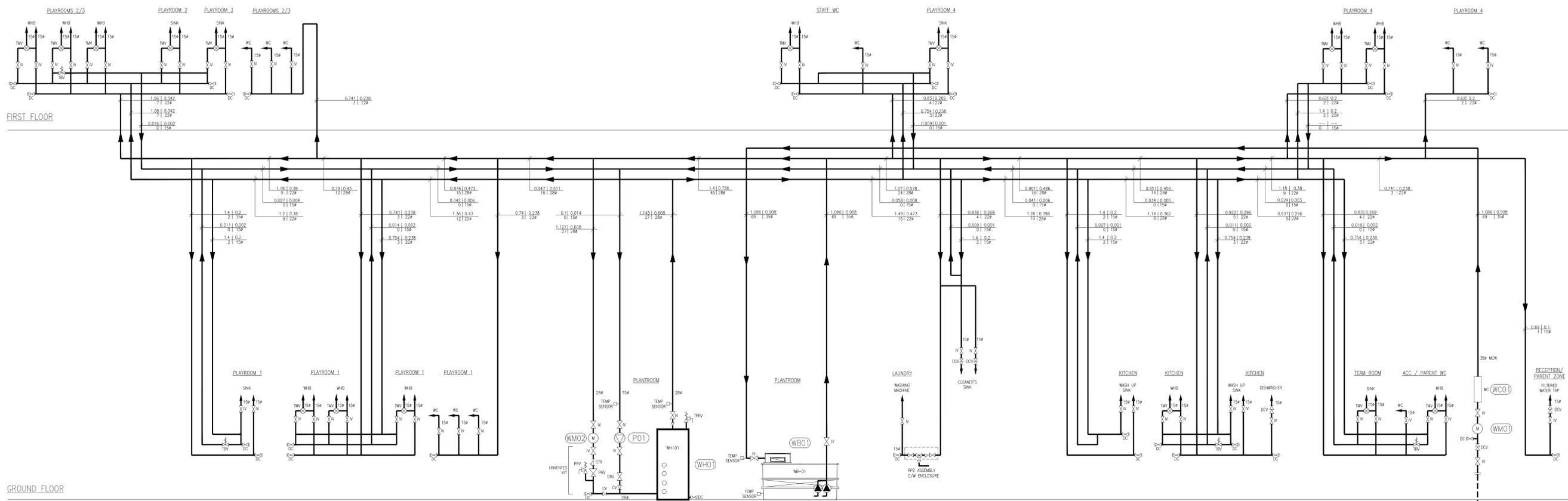
SCALE	PAPER SIZE	DATE	DRAWN	CHECKED
1:100	A1	AUG 23	C.V.	N.R.

SITE
GREENWICH MV P 020

CONSULTANT PROJECT No	STATUS	REVISION
1443	T	00

DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED ON SITE. COPYRIGHT PROTECTED.

- NOTES
- ALL CONCEALED PIPEWORK SHALL BE REASONABLY ACCESSIBLE THROUGHOUT ITS LENGTH IN ACCORDANCE WITH THE BUILDING REGULATIONS AND THE CURRENT WATER BYELAWS.
 - ACCESS DOORS ARE TO BE PROVIDED OVER ALL VALVES WHEREVER THE SAME MIGHT OTHERWISE BE CONCEALED.
 - ALL WATER SERVICES SHALL BE THERMALLY INSULATED, AS A MINIMUM INSULATION SHALL BE PHENOLIC FOAM OF A SUITABLE THICKNESS, ZERO COP, FOIL FACED AND WITHOUT MANUFACTURERS BRANDING. ALL INSULATION TO BE FITTED WITH ID LABELLING AND DIRECTIONAL ARROWS.
 - ALL WATER SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE SUPPLY (WATER FITTINGS) REGULATIONS 1999, BS 8556, BS EN 806 AND THE REQUIREMENTS OF THE LOCAL WATER AUTHORITY.
 - ALL WATER SERVICE PIPEWORK (EXCEPT WHERE EXPOSED IN FINISHED AREAS) SHALL BE IDENTIFIED USING COLOUR-BANDING TO BS 1710:2014.
 - ALL WATER SERVICE PIPEWORK SHALL BE PRESURE TESTED AND DISINFECTED AFTER INSTALLATION AND TO THE REQUIREMENTS OF BS EN806 AND THE REQUIREMENTS OF THE LOCAL WATER AUTHORITY.
 - ALL NEW HOT AND COLD WATER SERVICE PIPEWORK SHALL BE INSTALLED IN COPPER TUBE TO BS EN 1007-8200 (BS8371 TABLE 3), OTHER THAN FINE CONNECTIONS, NO COMPRESSION TYPE FITTING ARE TO BE USED.
 - ALL OVERFLOW/WARNING PIPES SHALL HAVE LABELS PROVIDED AT THEIR POINT OF DISCHARGE TO DESCRIBE THEIR ORIGIN.
 - IF IT IS A REQUIREMENT THAT THE MECHANICAL SERVICES CONTRACTOR IS TO PRODUCE AN "AS BUILT" WATER SERVICES SCHEMATIC, A COPY OF WHICH IS TO BE PLACED WITHIN A CLEAR FRAME AT A SIZE OF A1 AND MOUNTED ON A WALL WITHIN THE WATER SERVICES PLANTROOM. FINAL LOCATION TO BE AGREED WITH THE CLIENT PRIOR TO PRACTICAL COMPLETION.
 - ALL WATER SERVICE PIPEWORK AND VALVES ETC SHALL ONLY BE INSTALLED BY CERTIFIED PLUMBING OPERATIVES OF THE WATER REGULATIONS ADVISORY SERVICE (WRAS).
 - ALL TEST CERTIFICATION SHALL BE PROVIDED FOR INSPECTION AND SHALL BE INCLUDED WITHIN THE O&M MANUALS.
 - THE CONTRACTOR SHALL NOT INSTALL ANY PIPEWORK SO AS TO RESULT IN "DEAD-LEGS". THE ROUTING OF ALL NEW PIPEWORK SHALL FULLY COMPLY WITH THE RECOMMENDATIONS OF BS 8556, BS EN 806 & ACP 16.
 - THERMOSTATIC BLENDING VALVES ARE TO BE INSTALLED TO ALL WASH HAND BASINS. ALL VALVES TO BE COMMISSIONING AND SET TO 4°C AND AS REQUIRED UNDER PART 6 (2016) OF THE BUILDING REGULATIONS. ALL COMMISSIONING CERTIFICATES ARE TO BE INCLUDED WITH THE O&M MANUAL.
 - SUITABLE WRAS APPROVED BACK FLOW PREVENTION DEVICES TO BE PROVIDED IN ACCORDANCE WITH EQUIPMENT MANUFACTURERS REQUIREMENTS.
 - REFERENCE SHALL BE MADE TO ALL N FAMILY CLUB SPECIFICATIONS.



- WATER SERVICES LEGEND
- MCH MAINS COLD WATER
 - HWS HOT WATER SUPPLY
 - DN NOMINAL DIAMETER
 - IV ISOLATING VALVE
 - CV CHECK VALVE
 - DCV DOUBLE CHECK VALVE
 - SV SERVICE VALVE
 - PRV PRESSURE REDUCING VALVE
 - TRV TEMPERATURE & PRESSURE RELIEF VALVE
 - TMV THERMOSTATIC MIXING VALVE
 - TSV THERMOSTATIC SHOWER VALVE
 - TBV THERMOSTATIC BALANCING VALVE
 - STR STRAINER
 - WC WATER CONDITIONER
 - WH WATER HEATER
 - H/L HIGH LEVEL
 - L/L LOW LEVEL
 - F/A FROM ABOVE
 - T/B TO BELOW
 - F/B FROM BELOW
 - T/A TO ABOVE
 - C/W COMPLETE WITH COPPER
- Vel (m/s) | Flow (m³/s) | Loading | Size (mm) | Units

FIRST FLOOR

GROUND FLOOR

REV	DATE	DESCRIPTION	DRAWN	CHECKED
01				

LOCATION	FIGURE



PROJECT
N FAMILY CLUB GREENWICH MV

DRAWING
HOT AND COLD WATER SERVICES SCHEMATIC

CONSULTANT
PLENARIUS DESIGN LTD
 DISCIPLINE DESCRIPTION
PUBLIC HEALTH

CONSULTANT LOGO

 Tel: 07472 40 40 20
 Email: neeler@plenariusdesign.com
 Web: www.plenariusdesign.com

SCALE	PAPER SIZE	DATE	DRAWN	CHECKED
NTS	A0	AUG 23	C.V.	N.R.

SITE	DISCIPLINE CODE	DRAWING No
GREENWICH MV	P	022

CONSULTANT PROJECT No	STATUS	REVISION
1443	T	00

THE SERVICES INSTALLING CONTRACTOR IS TO BE AWARE THAT THEY ARE FULLY RESPONSIBLE FOR THE DESIGN OF ALL SERVICES SUPPLIED TO THE CLIENTS & BRINGS FOR ALL ELEMENTS OF THE INSTALLATION. THIS TO INCLUDE SELECTION OF APPROPRIATE BRACKETS / FIXINGS ETC. TO SUB THE VARIOUS BUILDING FABRIC MATERIALS. IF NECESSARY THE CONTRACTOR TO OBTAIN APPROVAL OF ALL FIXINGS / BRACKETS FROM THE STRUCTURAL ENGINEER.

SAFETY, HEALTH & ENVIRONMENTAL INFORMATION
 IT IS ASSUMED THAT ALL WORKERS WILL BE PROVIDED WITH A COMPLETE SET OF PERSONAL PROTECTIVE EQUIPMENT (PPE) AS SPECIFIED IN THE DRAWING. PLEASE REFER TO THE FOLLOWING TABLES:

INSTALLATION RISKS
 NO ADDITIONAL HAZARDS/RISKS PERCEIVED

OPERATIONAL RISKS
 NO ADDITIONAL HAZARDS/RISKS PERCEIVED

MAINTENANCE RISKS
 NO ADDITIONAL HAZARDS/RISKS PERCEIVED

DEMOLITION / DECOMMISSIONING RISKS
 NO ADDITIONAL HAZARDS/RISKS PERCEIVED